

SITE CONSTRUCTION PLANS

1900 NINETY - EIGHT

IN UNDIVIDED TOWNSHIP 2 SOUTH, RANGE 22 WEST,
OKALOOSA COUNTY, FLORIDA

PREPARED FOR:
ROOKIS DEVELOPMENT
3452 WEST COUNTY HIGHWAY 30A
SANTA ROSA BEACH, FL 32459
PHONE: (850) 267-3400

OWNER:
1900 SCENIC 98, LLC
3452 WEST COUNTY HIGHWAY 30A
SANTA ROSA BEACH, FL 32459
PHONE: (850) 267-3400

UTILITY COMPANIES

CONTRACTOR SHALL HAVE ALL EXISTING BURIED UTILITIES "LINE SPOTTED" BY CALLING 1-800-432-4770 "CALL SUNSHINE" OR BY CONTACTING LOCAL UTILITY COMPANIES.

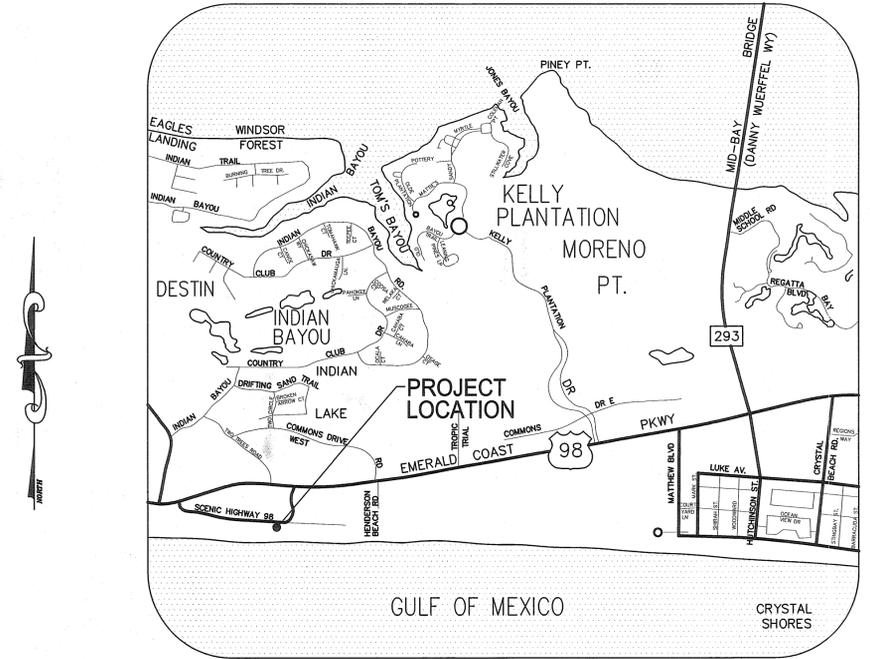
WATER: DESTIN WATER USERS, INC
218 MAIN STREET
DESTIN, FL 32541
PHONE: (850) 837-8146

SEWER: DESTIN WATER USERS, INC
218 MAIN STREET
DESTIN, FL 32541
PHONE: (850) 837-8146

TELEPHONE: CENTURYLINK
SOUTHERN OPERATIONS
650 DENTON BOULEVARD
FT. WALTON BEACH, FL 32547
PHONE: 850-664-3751
800-488-2201

TV CABLE: COX COMMUNICATIONS INC.
320 N.W. RACETRACK ROAD
FT. WALTON BEACH, FL 32547
PHONE: 850-796-1269

ELECTRIC: GULF POWER COMPANY
140 S.W. HOLLYWOOD BOULEVARD
FT. WALTON BEACH, FL 32548
PHONE: 244-4764



VICINITY MAP
NOT TO SCALE



PREPARED BY:
www.eca-fl.com
Emerald Coast Associates Inc.

CERTIFICATE OF AUTHORIZATION NUMBER 00008775

Land Planning • Engineering • Surveying
Since 1979

179 County Highway 393 South
Santa Rosa Beach, Florida 32459
PHONE: (850) 267-0473
FAX: (850) 267-0973
www.eca-fl.com

INDEX OF SHEETS

SHEET#	DESCRIPTION
1	COVER SHEET
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5	GRADING PLAN
6	GRADING DETAILS
7	UTILITY PLAN
8	UTILITY DETAILS (1 OF 2)
9	UTILITY DETAILS (2 OF 2)

No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

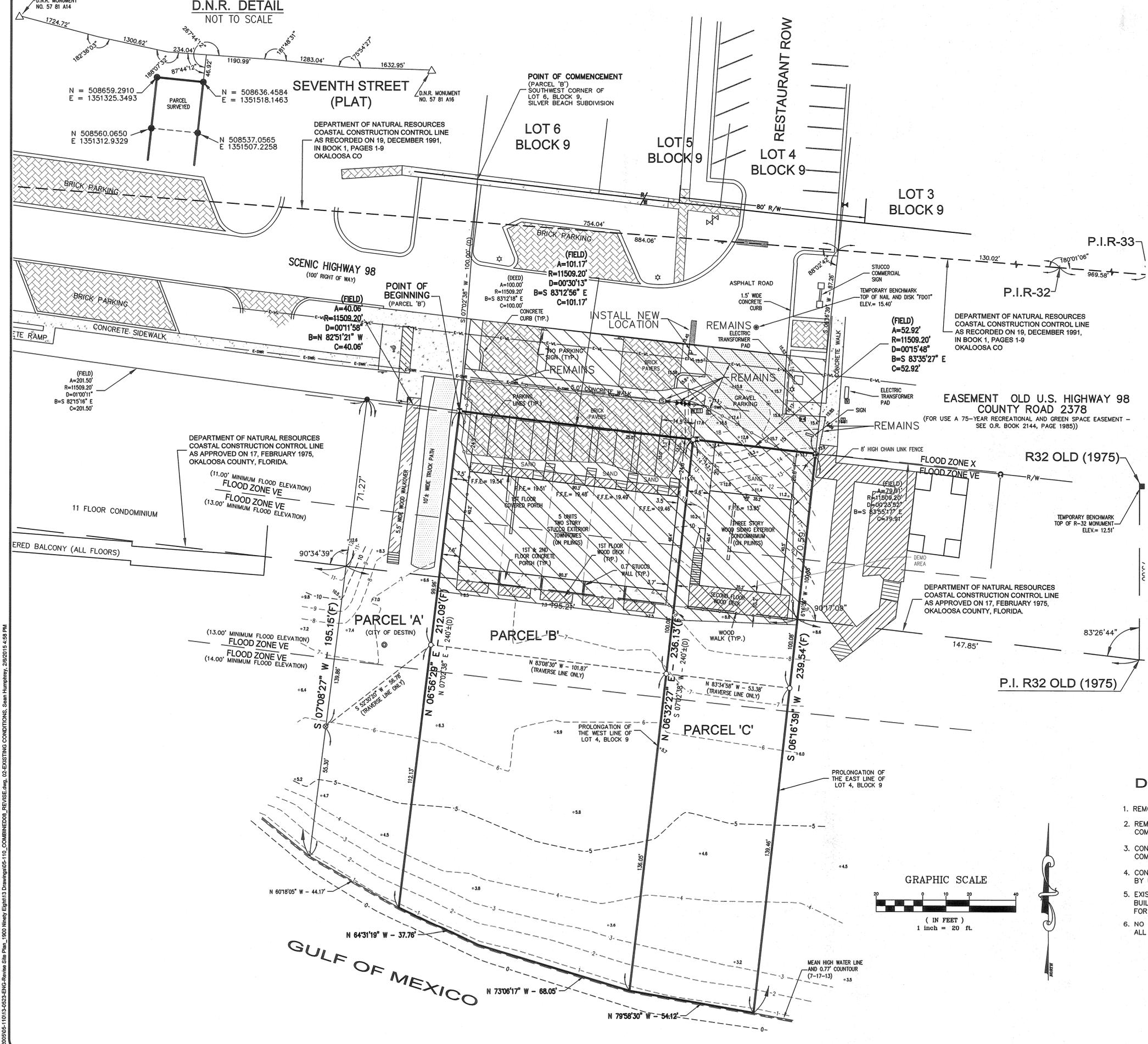
APPROVED
February 17, 2015
City of Destin
Technical Review Team
15-02-SP

Dean A. F. Burgess
DEAN A. F. BURGESS, REGISTERED P.E.
FLORIDA CERTIFICATE NO. 50705

DATE PREPARED:
MARCH, 2006

DATE REVISED:
DECEMBER, 2013

SHEET 1 of 9



LEGEND

SYMBOLS

	EXISTING FEATURES TO BE REMOVED		WET WETLAND BUFFER LINE
	PAVERS		PROPOSED STORMWATER DRAINAGE PIPE
	ASPHALT		STAKED SILT FENCE
	CONCRETE		UTILITY EASEMENT
	GUY ANCHOR		OVERHEAD UTILITY LINE
	TELEPHONE PEDESTAL		LANDSCAPE BUFFER LINE
	CABLE TV BOX		BUILDING SETBACK LINE
	POWER POLE		EXISTING GAS LINE
	LIGHT POLE		PROPOSED SEWER LINE
	ELECTRIC RISER		EXISTING WATER LINE
	SEWER TAP		PROPOSED WATER LINE
	BACKFLOW PREVENTOR		EXISTING FORCE MAIN
	6' WOOD FENCE		PROPOSED FORCE MAIN
	6' CHAIN LINK FENCE		EXISTING SEWER LINE
	CENTERLINE		SANITARY SEWER STUBOUT
	SINGLE POLE SIGN		WATER SHUT-OFF
	EXISTING SPOT ELEVATION AT "X"		SANITARY SEWER MANHOLE
	PROPOSED SPOT ELEVATIONS		CLEAN-OUT
	EXISTING CONTOURS		PROPOSED FIRE HYDRANT
	PROPOSED CONTOURS		EXISTING FIRE HYDRANT
	T.B.M. (TEMPORARY BENCH MARK)		WATER VALVE
	BURIED FIBER OPTIC CABLE SIGN		WATER FAUCET
	STORM SEWER MANHOLE		RP2 BACKFLOW PREVENTER
	DRAINAGE INLET		WATER METER
	PERC TEST LOCATION		LIFT STATION
	NYLOPLAST INLET		ELBOW (TYP.)
	MITERED END SECTION		TEE
	STOP SIGN		CURB-STOP
	NO PARKING SIGN		REDUCER

UTILITY COMPANIES

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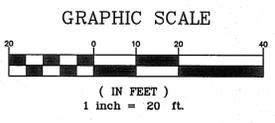
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ELECTRIC: GULF POWER COMPANY
140 S.W. HOLLYWOOD BOULEVARD
FT. WALTON BEACH, FL 32548
PHONE: 244-4764



DEMOLITION NOTES

- REMOVE PAVEMENT, BUILDINGS, BASE COURSE AND CURBING AS SHOWN.
- REMOVE EXISTING UTILITY SERVICES. COORDINATE WITH UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF-SITE AND BE IN COMPLIANCE WITH FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS.
- CONTRACTOR SHALL RETAIN ALL SOIL EROSION SEDIMENTATION ON-SITE BY USING STAKED SILT FENCE.
- EXISTING WATER & SEWER SERVICE CONNECTIONS TO PORTION OF EXISTING BUILDING TO BE REMOVED ARE TO BE RELOCATED AS NECESSARY TO BE USED FOR THE PROPOSED BUILDING.
- NO WORK SHALL BE PERFORMED WITHIN THE F.D.O.C. RIGHT-OF-WAY UNTIL ALL NECESSARY F.D.O.C. PERMITS AND APPROVED PLANS



NO CHANGES SHALL BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY OF DESTIN. UNAPPROVED DEVIATIONS MAY RESULT IN THE REVOCATION OF BUILDING PERMITS AND THE INABILITY TO SECURE A Certificate of Occupancy.

APPROVED
February 17, 2015
City of Destin
Technical Review Team
15-02-SP

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PH: (850) 267-0473 . FAX: (850) 267-0973

REQUESTED BY: LESLIE ANN BROWN / ROOMS DEVELOPMENT

1900 NINETY-EIGHT
IN UNDIVIDED TOWNSHIP 2 SOUTH, RANGE 22 WEST
OF OKALOOSA COUNTY, FLORIDA

EXISTING CONDITIONS

DATE	BY	REVISION
11/14/13	REVISOR	REVISED DUNE WALKOVERS AND GRADING PLAN
02/02/15	REVISOR	REVISED PARKING AND BRIDGE, PER PERMIT COMMENT

NOT VALID UNLESS SIGNED BY ORIGINAL RATER OF A FLORIDA PROFESSIONAL ENGINEER

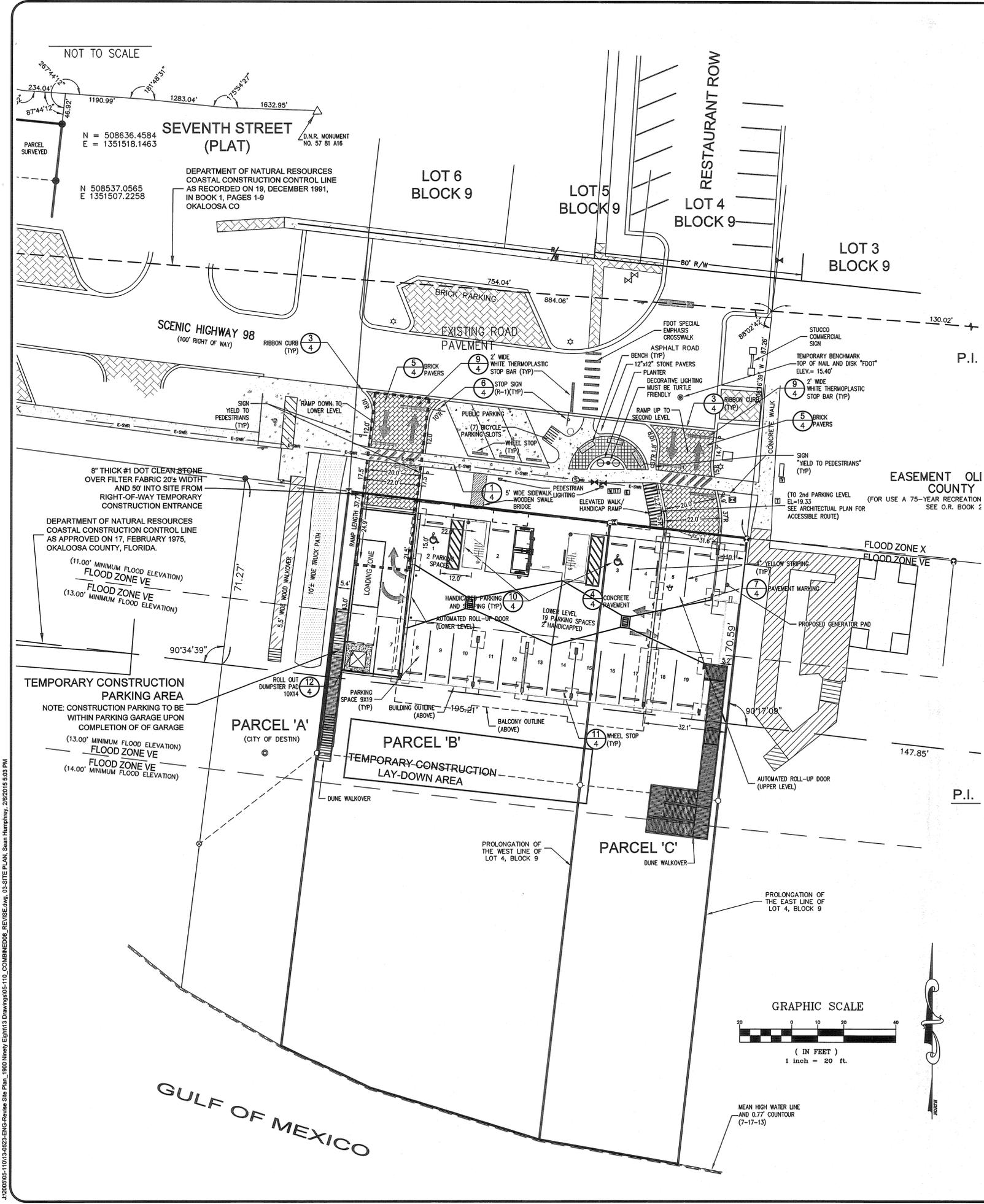
Dean A. F. Burgis
DEAN A. F. BURGIS
PROFESSIONAL ENGINEER No. 50705

PROJECT: **05-110**

SCALE: 1" = 20' DRAWN BY: MS/DLL
ORDER: 13-0523 DESIGN BY: MS
DWG. DATE: 07/22/13 CHECK BY: DAFB
FILE: 05-110_COMBINED08_REVISE.dwg

SHEET
2 of 9

J:\2015\05-110\13-0523-ENC-Revise_Site Plan_1500 Hwy 99S.dwg, 10-2-2015 4:58 PM



LEGEND

SYMBOLS	
[Symbol]	PAVERS
[Symbol]	ASPHALT
[Symbol]	CONCRETE
[Symbol]	GUY ANCHOR
[Symbol]	TELEPHONE PEDESTAL
[Symbol]	CABLE TV BOX
[Symbol]	POWER POLE
[Symbol]	LIGHT POLE
[Symbol]	ELECTRIC RISER
[Symbol]	SEWER TAP
[Symbol]	BACKFLOW PREVENTOR
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[Symbol]	WATER METER
[Symbol]	LIFT STATION
[Symbol]	ELBOW (TYP.)
[Symbol]	TEE
[Symbol]	CURB-STOP
[Symbol]	REDUCER

SITE DATA TABLE:

TAX PARCEL I.D. NUMBER:	00-25-22-1915-0000-0050 00-25-22-1915-0000-0040 00-25-22-1915-0000-0030 00-25-22-1915-0000-0020 00-25-22-1915-0000-0010 00-25-22-2300-0000-0030
EXISTING LAND USE:	COMMERCIAL BUILDING, PARKING AND STORAGE
FUTURE LAND USE MAP DESIGNATION:	GULF RESORT MIXED USE (GRMU)
ZONING DISTRICT:	GULF RESORT MIXED USE (GRMU)
FLOOD ZONE:	VE-14, VE-13, VE-11, X (SEE NOTE #1 BELOW)
BUILDING INFORMATION:	12 STORY CONDOMINIUM
BUILDING HEIGHT LIMITATION:	130' OR 12 STORES (MEET TIER 2 STANDARDS)
HEIGHT PROVIDED:	129.3'/12 STORY CONDOMINIUM
BUILDING SETBACKS REQUIRED (TIER 2 STANDARD)	FRONT: 0' REAR: 0' SIDE: 10' (0'-35') 15' (35'-50') 17' (50'-60') 19' (60'-70') 21' (70'-80') 23' (80'-90') 25' (90'-100') 27' (100'-110') 29' (110'-120') 31' (120'-130')
PROVIDED:	0' 119' 10' (0'-8.66') 31.6' (8.66'-109.5') 64.1' (109.5'-124.5')
DEVELOPMENT AREA & DENSITY	
SITE DENSITY ALLOWED:	UP TO 25 UNITS/ACRE
SITE DENSITY PROVIDED:	16 UNITS / 0.82 ACRE = 19.50 UNITS/ACRE
TOTAL SITE AREA:	0.82 ACRES
DEVELOPMENT AREA:	0.37 ACRES
TOTAL IMPERVIOUS AREA (ISR):	0.24 ACRES
TOTAL PERVIOUS AREA (OPEN SPACE):	0.29 ACRES
PROVIDED:	10,666.4 SQ. FT. (29.8%) 12,511.6 SQ. FT. (35.0%) 25,081.0 SQ. FT. (70.2%)
REQUIRED:	10,666.4 SQ. FT. (29.8%) 12,511.6 SQ. FT. (35.0%) 25,081.0 SQ. FT. (70.2%)
PARKING:	
3 BEDROOM CONDO UNIT (16 UNITS) (2 SPACES/UNIT)	REQUIRED: 32 PROVIDED: 32
HANDICAP SPACES (SEE NOTE #2 BELOW)	REQUIRED: 1 PROVIDED: 2
LANDSCAPING: 5' WIDE COMMON PROPERTY BUFFERS	

GENERAL NOTES:

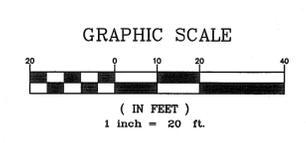
- ALL DIMENSIONS SHOWN ARE REFERENCED TO THE FACE OF CURBING.
- ALL PERMANENT PAINT STRIPING/MARKING SHALL BE THERMOPLASTIC REFLECTIVE PAINT, AND BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE "FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION". OLD STRIPING SHALL BE OBLITERATED BY GRINDING - PAINTING SHALL NOT BE ALLOWED.
- SITE COMPLIES WITH CHAPTER 11 OF THE FLORIDA BUILDING CODE, LATEST EDITION.
- ALL NEW UTILITIES (INCLUDING TELEPHONE, CABLE AND ELECTRIC) SHALL BE PLACED UNDERGROUND.
- ALL STRUCTURES, INCLUDING SERVICING EQUIPMENT, SHALL HAVE A MINIMUM FFE OF 13.00'.
- ALL STRIPING AND SIGNAGE TO BE IN ACCORDANCE WITH MUTCD STANDARDS.
- AN NPDES PERMIT WILL NOT BE REQUIRED FOR THIS PROJECT. HOWEVER, ADHERENCE TO EROSION AND SEDIMENT CONTROL INDICATED IN THESE PLANS IS REQUIRED DURING CONSTRUCTION.
- SITE IMPROVEMENTS SHALL COMPLY TO FLORIDA UNIFORM TRAFFIC CONTROL LAW, CHAPTER 316, F.S.
- NO SIGNAGE APPROVAL AND OUTDOOR LIGHTING APPROVAL IS REQUIRED FOR A DEVELOPMENT ORDER. HOWEVER, SIGNAGE AND OUTDOOR LIGHTING MUST BE APPROVED PRIOR TO FIRST CERTIFICATE OF OCCUPANCY AND ASSOCIATED PERMITS ISSUED.
- DURING CONSTRUCTION CRANE BOOMS SHALL NOT SWING OVER THE RIGHT-OF-WAY OR THE BEACH ACCESSES ON EITHER SIDE OF THE PROJECT. THESE AREAS ARE OPEN TO THE PUBLIC AND NOT PART OF THE CONSTRUCTION SITE.

EROSION CONTROL NOTES:

- AREAS NOT BEING WORKED FOR 30 DAYS OR MORE SHALL BE VEGETATED.
- ALL BARE GROUND, STRIPPED OF VEGETATION DURING THE CLEARING/GRUBBING PROCESS, SHALL BE COVERED TO MAXIMUM EXTENT PRACTICABLE.
- ALL BEACH SIDE LIGHTING SHALL BE SHIELDED AND "TURTLE FRIENDLY" TYPE PER FDEP AND U.S. FISH & WILDLIFE REQUIREMENTS.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS THE FIRST STEP OF CLEARING AND GRUBBING.
- ADDITIONAL TECHNIQUES TO REDUCE SOIL TRACKING OFF OF A SITE AND ONTO ROADWAY SUCH AS WHEEL WASHING STATIONS MAY BE REQUIRED.
- ANY SEDIMENT TRACKED ONTO ROAD PAVEMENT SHALL BE REMOVED IMMEDIATELY (PRIOR TO THE END OF THE WORK DAY) BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED FROM THE ROAD AND STABILIZED ON-SITE.
- DUST CONTROL IS REQUIRED ON ALL AREAS OF DEVELOPMENT OR REDEVELOPMENT ACTIVITY.
- A COPY OF ALL FEDERAL, STATE AND CITY PERMITS (AS APPLICABLE) SHALL BE POSTED IN A CLEARLY VISIBLE LOCATION ON THE PROJECT SITE.
- PRIOR TO C.O., ALL TEMPORARY CONSTRUCTION DRIVEWAY ENTRANCES SHALL BE REMOVED AND THE RIGHT-OF-WAY RE-GRADED, RESTORED AND RE-VEGETATED TO ORIGINAL OR BETTER CONDITION.
- ANY OFF-SITE CATCH BASINS, CURB INLETS OR SWALE THAT REQUIRED PROTECTION SHALL BE CLEANED.
- IMPORT OF ANY FILL MUST BE INSPECTED FOR SHITE SAND ZONE 1 COMPLIANCE BY THE CITY'S ENVIRONMENTAL OFFICER, DAVID BAZYLAK, 850-837-4242, PRIOR TO PLACING ON SITE.

(PARCEL 'B') (AS FURNISHED)
THE WEST 100 FEET OF BLOCK "C", SILVER BEACH SUBDIVISION AS RECORDED IN PLAT BOOK 1 AT PAGE 16 1/2 OF THE PUBLIC RECORDS OF OKALOOSA COUNTY, FLORIDA. ALSO DESCRIBED AS:
COMMENCE AT THE SOUTHWEST CORNER OF LOT 6 BLOCK 9, SILVER BEACH SUBDIVISION AS RECORDED IN PLAT BOOK 1 AT PAGE 16 1/2 OF THE PUBLIC RECORDS OF OKALOOSA COUNTY, FLORIDA; THENCE GO SOUTH 07°02'38" WEST ALONG A SOUTHERLY PROJECTION OF THE WEST LINE OF THE AFORESAID LOT 6 A DISTANCE OF 100.00 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 30 (U.S. HWY. 98, 100' R/W) AND THE POINT OF BEGINNING; THENCE GO EASTERLY ALONG THE AFORESAID SOUTHERLY RIGHT OF WAY LINE, BEING CURVED CONCAVE NORTHERLY AND HAVING A RADIUS OF 11, 509.20 FEET, AN ARC DISTANCE OF 100.00 FEET (CH.BRG.=583'12"18"E. CH=100.00); THENCE GO SOUTH 07°02'38" WEST A DISTANCE OF 240 FEET MORE OR LESS TO THE MEAN HIGH WATER LINE OF THE GULF OF MEXICO; THENCE MEANDER WESTERLY ALONG THE AFORESAID MEAN HIGH WATER LINE A DISTANCE OF 100 FEET MORE OR LESS TO THE INTERSECTION WITH A LINE PASSED THROUGH THE POINT OF BEGINNING AND HAVING A BEARING OF S 07°02'28"W; THENCE GO NORTH 07°02'38" EAST A DISTANCE OF 240 FEET MORE OR LESS TO THE POINT OF BEGINNING, BEING A PORTION OF BLOCK "C" OF THE AFORESAID SILVER BEACH SUBDIVISION.

(PARCEL 'C') (AS FURNISHED)
THAT PORTION OF BLOCK 'C' OF SILVER BEACH SUBDIVISION COMPREHENDED BETWEEN THE PROLONGATIONS OF THE SOUTHERLY EXTENSIONS OF THE GULF OF MEXICO OF THE EAST AND WEST LINES OF LOT 4, BLOCK 9, OF SAID SUBDIVISION (TOGETHER WITH FULL RIPARIAN RIGHTS), ALL ACCORDING TO THE PLAT OF SAID SUBDIVISION SIGNED BY C.H. O'NEAL AND FILED IN THE PUBLIC RECORDS OF OKALOOSA COUNTY, FLORIDA, RANGE 22 WEST, OKALOOSA COUNTY, FLORIDA.
deviate from, these approved plans
without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.
EROSION AND SEDIMENT CONTROL IS REQUIRED DURING CONSTRUCTION.



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1900 NINETY-EIGHT
 IN UNDIVIDED TOWNSHIP 2 SOUTH, RANGE 22 WEST OF OKALOOSA COUNTY, FLORIDA

SITE PLAN

DATE: 02/02/15
 REVISION: 15-02-SP
 DRAWN BY: MS/DLL
 CHECKED BY: DAFB

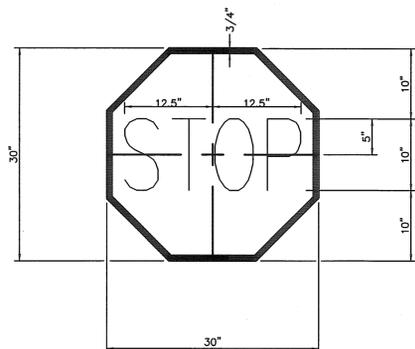
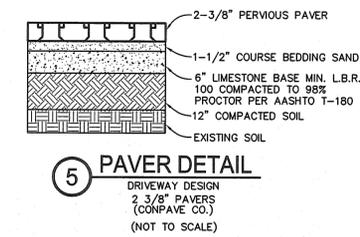
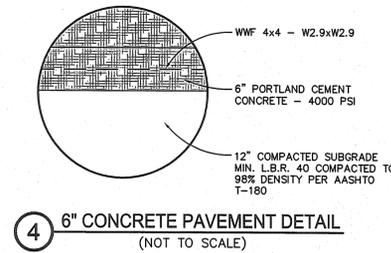
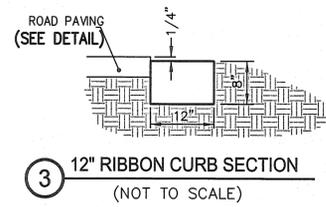
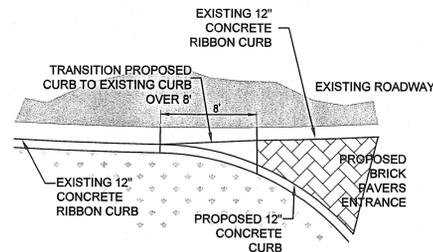
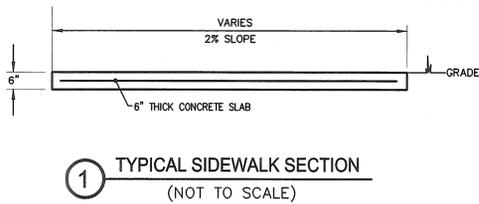
NOT VALID UNLESS SIGNED AND SEALED BY ORIGINAL ENGINEER OF A FLORIDA PROFESSIONAL ENGINEER

DEAN A. F. BURGIS
 PROFESSIONAL ENGINEER No. 50705

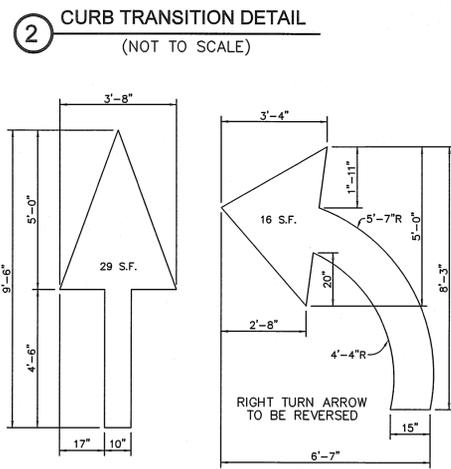
PROJECT: **05-110**
 SCALE: 1" = 20'
 ORDER: 13-0523
 DWG. DATE: 07/22/13
 FILE: 05-110_COMBINED_REVISE.dwg

SHEET
3 of 9

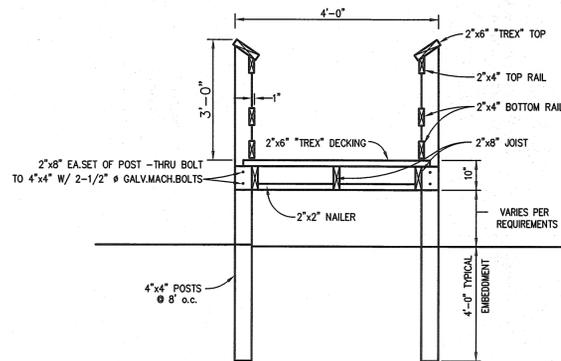
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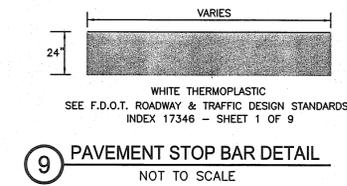
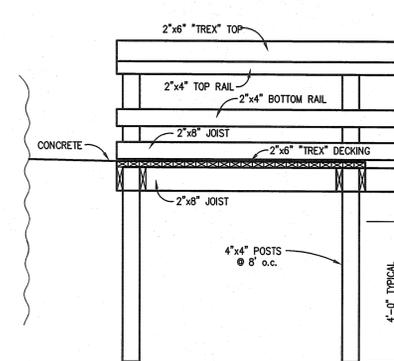
NOTE:
SIGN DESIGNATION: R1-1 (REFL.)
REFLECTORIZATON: LEGEND, BORDER (REFL.)
BACKGROUND
SIGN COLORS: LEGEND, BORDER (WHITE)
BACKGROUND (RED)



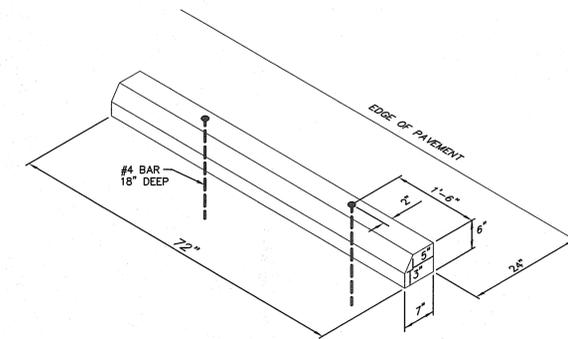
7 PAVEMENT MARKING DETAIL (NOT TO SCALE)
(TO BE PAINTED I.A.W. F.D.O.T. INDEX No. 17346)



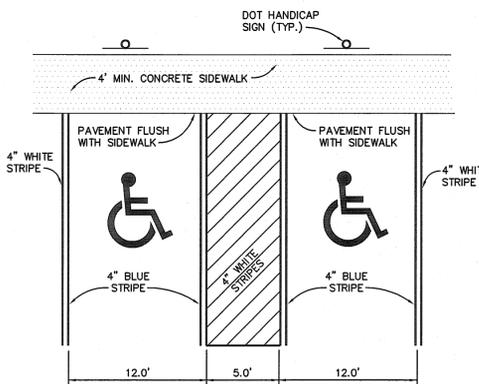
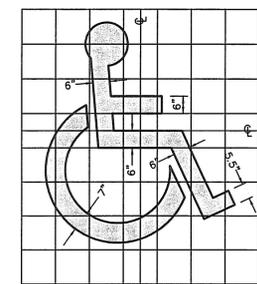
NOTES:
1. ALL FERROUS METALS TO BE PAINTED, GALVANIZED OR OTHERWISE TREATED FOR RUST.
2. ALL PAINTS AND SIMILAR FINISHES MUST MEET CURRENT CSPSC REGULATIONS FOR LEAD IN PAINT. NO LEAD IS PERMITTED ON THIS PROJECT.
3. ALL WOOD TO BE TREATED TO RESIST ROT AND INSECTS.
4. ALL HARDWARE TO BE INSTALLED SO THAT IT DOESN'T LOOSEN OR IS NOT ALLOWED TO BE REMOVED WITHOUT THE USE OF TOOLS. LOCK WASHERS, SELF-LOCKING NUTS OR OTHER LOCKING MEANS ARE TO BE PROVIDED TO PREVENT DETACHMENT.
5. NO SHARP POINTS, CORNERS OR EDGES ON ANY COMPONENT WILL BE ALLOWED. ALL WOOD MEMBERS AND EDGES ARE TO BE SANDED SMOOTH. ALL METAL EDGES ARE TO BE GROUND SMOOTH.
6. NO PROTRUSIONS OR DANGEROUS PROJECTIONS ON FACILITY WILL BE PERMITTED IF A POSSIBILITY OF ENTANGLEMENT OF CHILDREN'S CLOTHING EXISTS.
7. NO CONDITIONS ARE TO EXIST THAT PRESENT POSSIBLE PINCHING, CRUSHING OR SHEARING POINTS, OR HEAD, LEG OR HAND ENTRAPMENT. NO CONDITIONS ARE TO BE ALLOWED THAT MAY ENTRAP THE BODY OR ANY OF ITS PARTS.



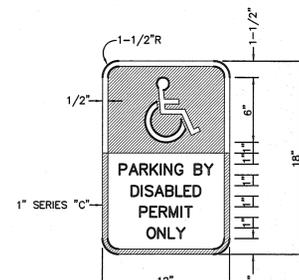
9 PAVEMENT STOP BAR DETAIL (NOT TO SCALE)



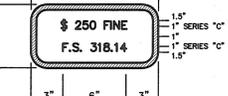
11 CONCRETE WHEEL STOP (NOT TO SCALE)



HANDICAP AREA DETAIL (MAX. SLOPE 2% (1:50) ALL DIRECTIONS) (NOT TO SCALE)



(F.D.O.T. INDEX #17355)



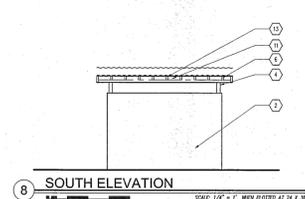
(FTP - 55)

COLOR
BACKGROUND WHITE
LEGEND & BORDER BLACK

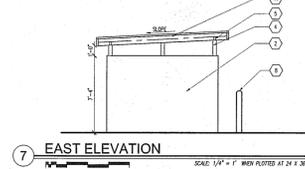
THIS PANEL SHALL BE INSTALLED UNDER THE FTP-25 OR FTP-26 HANDICAP PARKING SIGN.

HANDICAP SIGN DETAIL (F.D.O.T. INDEX No. 17355) (NOT TO SCALE)

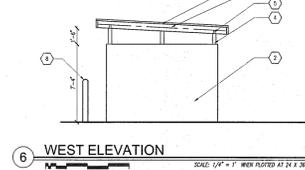
8 WALKOVER DETAIL (NOT TO SCALE)



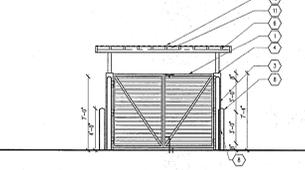
9 EAST ELEVATION (SCALE: 1/4\"/>



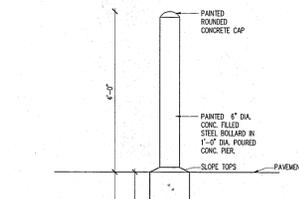
10 SOUTH ELEVATION (SCALE: 1/4\"/>



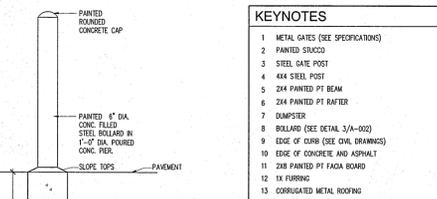
11 WEST ELEVATION (SCALE: 1/4\"/>



12 NORTH ELEVATION (SCALE: 1/4\"/>



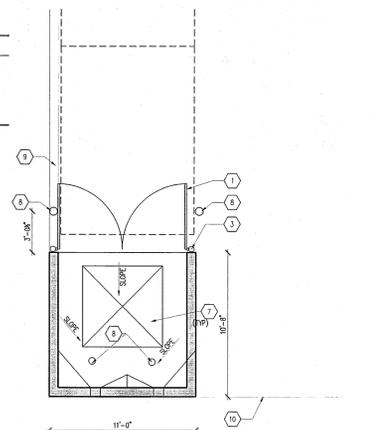
3 BOLLARD DETAIL (SCALE: 1/4\"/>



2 ROOF PLAN (SCALE: 1/4\"/>

KEYNOTES
1. METAL GATES (SEE SPECIFICATIONS)
2. PAINTED SHROUD
3. STEEL GATE POST
4. 4x4 STEEL POST
5. 2x4 PAINTED PT BEAM
6. 2x4 PAINTED PT BRACKET
7. BRACKET
8. BOLLARD (SEE DETAIL 3/A-1002)
9. EDGE OF CURB (SEE CIVIL DRAWINGS)
10. EDGE OF CONCRETE AND ASPHALT
11. 2x8 PAINTED PT FACK BOARD
12. 1x FURRING
13. CORRUGATED METAL ROOFING

GENERAL NOTES
1. DIMENSIONS ARE FROM TOP OF SLAB
2. SEE SHEET A-402 FOR PAINT COLORS



FLOOR PLAN (SCALE: 1/4\"/>

COLOR CONTRAST
CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUNDS - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

HANDICAP SYMBOL DETAIL (NOT TO SCALE)
SYMBOL SHALL BE PAINTED BLUE AND TO THE DIMENSIONS SHOWN

2 ROOF PLAN (NOT TO SCALE)

FLOOR PLAN (NOT TO SCALE)

APPROVED
February 17, 2015
City of Destin
Technical Review Team
15-02-SP

No changes shall be made to, and STORAGE AND TRASH ENCLOSURE deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

12 DUMPSTER PAD DETAILS (NOT TO SCALE)

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Emerald Coast Associates Inc.
Land Planning • Engineering • Surveying
Since 1979
179 Co. Hwy 393 South
Santa Rosa Beach, Florida 32459
PH: (850) 267-0473, FAX: (850) 267-0973

REQUESTED BY: LESLIE ANN BROWN / ROOMS DEVELOPMENT
1900 NINETY-EIGHT
IN UNDIVIDED TOWNSHIP 2 SOUTH, RANGE 22 WEST
OF OKALOOSA COUNTY, FLORIDA
GENERAL DETAILS

DATE	REVISION	DRAWN BY	CHECKED BY
02/06/15	REVISED PAVING AND BRIDGE PERMIT REQUIREMENT	DL	DAFB
11/17/13	REVISED DUNE WALKOVERS AND GRADING PLAN	DL	DAFB

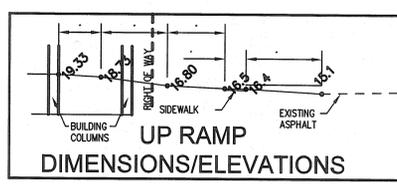
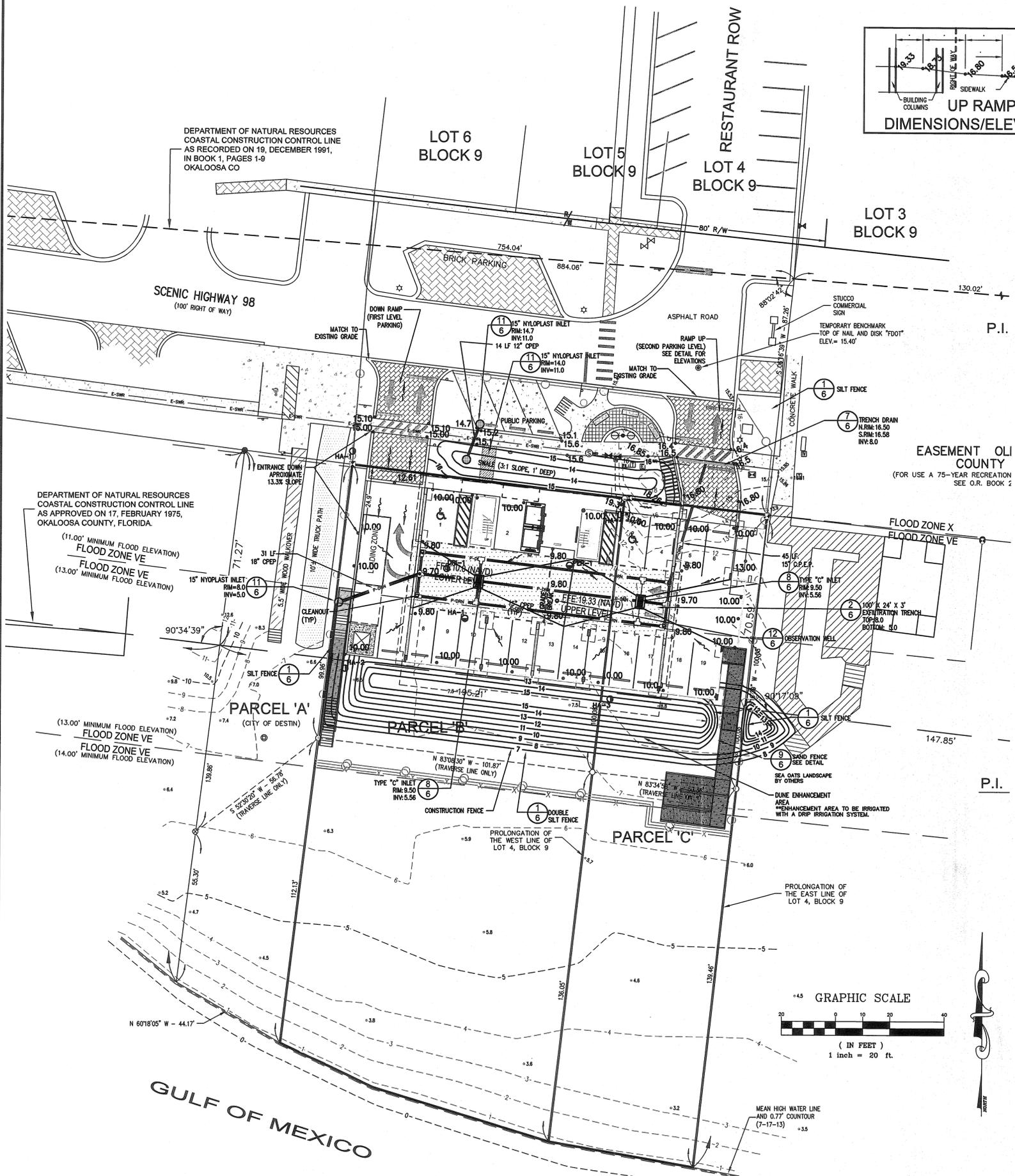
NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL OF A FLORIDA PROFESSIONAL ENGINEER
DEAN A. F. BURGIS
PROFESSIONAL ENGINEER No. 50705

PROJECT: 05-110
SCALE: N.T.S. DRAWN BY: MS/DL
ORDER: 13-0523 DESIGN BY: MS
DWG. DATE: 07/22/13 CHECK BY: DAFB
FILE: 05-110_COMBINED08_REVISE.dwg
SHEET 4 of 9

J:\200505-11013-0523-ENG-Florida Site Plan_1500 Heavy Eighteen Drawings\05-110_COMBINED08_REVISE.dwg, 04-GENERAL DETAILS, Sean Humphrey, 2/20/2015 5:04 PM

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J:\200505-11013-023-ENG-REVISE.dwg, 05-GRADING PLAN, Sean Humphrey, 2/20/15 5:04 PM



LEGEND

- SYMBOLS**
- PAVERS
 - ASPHALT
 - CONCRETE
 - GUY ANCHOR
 - TELEPHONE PEDESTAL
 - CABLE TV BOX
 - POWER POLE
 - LIGHT POLE
 - ELECTRIC RISER
 - SEWER TAP
 - BACKFLOW PREVENTOR
 - 6" WOOD FENCE
 - 6" CHAIN LINK FENCE
 - CENTERLINE
 - SINGLE POLE SIGN
 - EXISTING SPOT ELEVATION AT "X"
 - PROPOSED SPOT ELEVATIONS
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - T.B.M. (TEMPORARY BENCH MARK)
 - BURIED FIBER OPTIC CABLE SIGN
 - STORM SEWER MANHOLE
 - DRAINAGE INLET
 - PERC TEST LOCATION
 - NYLOPLAST INLET
 - MITERED END SECTION
 - STOP SIGN
 - NO PARKING SIGN
 - WETLAND BUFFER LINE
 - PROPOSED STORMWATER DRAINAGE PIPE
 - STAKED SILTY FENCE
 - UTILITY EASEMENT
 - OVERHEAD UTILITY LINE
 - LANDSCAPE BUFFER LINE
 - BUILDING SETBACK LINE
 - EXISTING GAS LINE
 - PROPOSED SEWER LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING FORCE MAIN
 - PROPOSED FORCE MAIN
 - EXISTING SEWER LINE
 - SANITARY SEWER STUBOUT
 - WATER SHUT-OFF
 - SANITARY SEWER MANHOLE
 - CLEAN-OUT
 - PROPOSED FIRE HYDRANT
 - EXISTING FIRE HYDRANT
 - WATER VALVE
 - WATER FAUCET
 - RPZ BACKFLOW PREVENTER
 - WATER METER
 - LIFT STATION
 - ELBOW (TYP.)
 - TEE
 - CURB-STOP
 - REDUCER

SOIL BORING INFORMATION:

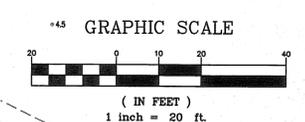
BORING	GROUND ELEV. (FEET ABOVE MSL)	DEPTH TO WATER TABLE	WATER TABLE ELEV. (FEET ABOVE MSL)
PER-1	9.0'	7.0'	2.0'
HA-1	7.0'	5.5'	1.5'

BORING	GROUND ELEV. (FEET ABOVE MSL)	DEPTH TO WATER TABLE	WATER TABLE ELEV. (FEET ABOVE MSL)
DRI-1	9.0'	> 7.0'	< 2.0'
HA-1	14.0'	> 6.5'	< 7.5'
HA-2	6.0'	3.16'	2.83'
HA-3	6.0'	3.92'	2.08'
HA-4	12.0'	> 6.5'	< 5.5'

GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES AND CONTRACTORS TO ASSURE ALL UNDERGROUND UTILITIES ARE IN PLACE PRIOR TO FINAL DRESSING OF DRAINAGE SWALES.
- CONTRACTOR IS RESPONSIBLE FOR SETTING AND ESTABLISHING THE LOCATION, ALIGNMENT, ELEVATION, AND GRADING OF THE SITE FEATURES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO EXISTING STRUCTURES OR UTILITIES AS A RESULT OF PERFORMING THE WORK DESCRIBED HEREIN.
- UNSUITABLE EXCAVATED MATERIAL DURING DEGRUBBING AND SITE CLEARING SHALL BE DISPOSED OFF SITE.
- SUITABLE EXCAVATED MATERIAL MAY BE USED ON SITE AS FILL, ONLY FOLLOWING APPROVAL BY THE ENGINEER.
- ADDITIONAL FILL MATERIAL MUST BE APPROVED BY THE ENGINEER.
- ALL EXCAVATIONS SHALL COMPLY WITH SECTION 120 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND MEET MINIMUM SLOPE REQUIREMENTS.
- TEMPORARY EROSION CONTROL SHALL BE ACHIEVED BY SILT FENCING, STRAW OR HAY BALES OR TEMPORARY GRASS.
- PAVEMENT STRIPING AND MARKINGS SHALL BE THERMOPLASTIC TRAFFIC PAINT IN ACCORDANCE WITH F.D.O.T. SPECIFICATION 710.
- CLEARING OF NATURAL VEGETATION WITHIN 100.0' OF THE MEAN OR ORDINARY HIGH WATER LINE OF THE SHORELINE IS LIMITED TO 25%.
- PERMANENT EROSION CONTROL SHALL CONSIST OF GRASS SODDING FOR ALL DETENTION AREAS/SWALES AND GRASS SEEDING FOR ALL OTHER DISTURBED AREAS.
- COMPACTION OF SUBGRADE BENEATH PARKING AREAS AND BUILDING PATHS SHALL BE ACCOMPLISHED BY A VIBRATORY ROLLER WITH A MINIMUM OF TEN OVERLAPPING PASSES.
- CONCRETE AND SOILS SHALL BE TESTED BASED ON THE FOLLOWING SCHEDULE:

MATERIAL	TEST	REQUIREMENT	FREQUENCY
CONCRETE	SUMP SLUMP	4"±1	3000 P.S.I.
	COMPRESSIVE STRENGTH	3000 P.S.I.	1 PER 1000 SQ. FT. OF SURFACE AREA
BASE MATERIAL	DENSITY	98% OF LAB MAX	1 PER 1000 SQ. FT. OF SURFACE AREA
	LBR	100	
SUBGRADE	DENSITY	98% OF LAB MAX	1 PER 1000 SQ. FT. OF SURFACE AREA
	LBR	40	
- FILL MATERIAL COLOR AND GRAIN SIZE TO MATCH NATIVE BEACH.
- STORMWATER IS TO BE DIRECTED FROM DRIVEWAYS, PARKING AND ROOF DRAINS TO BASINS.
- CONTRACTOR IS TO REMOVE SEDIMENT FROM BASINS UPON COMPLETION OF SITE WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF EROSION CONTROL.



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 PH: (850) 267-0473 • FAX: (850) 267-0973

CERTIFICATE OF REGISTERED PROFESSIONAL ENGINEER

REQUESTED BY: LESLIE ANN BROWN/ ROOMS DEVELOPMENT

1900 NINETY-EIGHT
 IN UNDIVIDED TOWNSHIP 2 SOUTH, RANGE 22 WEST
 OF OKALOOSA COUNTY, FLORIDA

GRADING PLAN

DATE	REVISION	BY	CHKD BY
11/7/13	REVISION DUNE WALKOVERS AND GRADING PLAN		
8/26/15	REVISION PARKING AND BRIDGE, PER TRF RECORDMENT		

NOT VALID WITHOUT SIGNATURE AND SEAL OF ORIGINAL PROFESSIONAL ENGINEER OF A FLORIDA LICENSED PROFESSIONAL ENGINEER

Dean A. F. Burgis

DEAN A. F. BURGIS
 PROFESSIONAL ENGINEER No. 50709

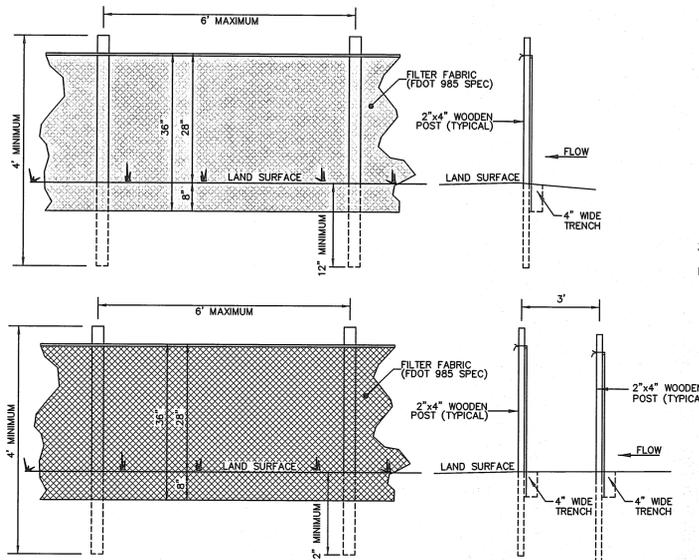
PROJECT: **05-110**

SCALE: 1" = 20' DRAWN BY: MS/DLL
 ORDER: 13-0523 DESIGN BY: MS
 DWG. DATE: 07/22/13 CHECK BY: DAFB
 FILE: 05-110_CONTRACTOR_REVISION.dwg

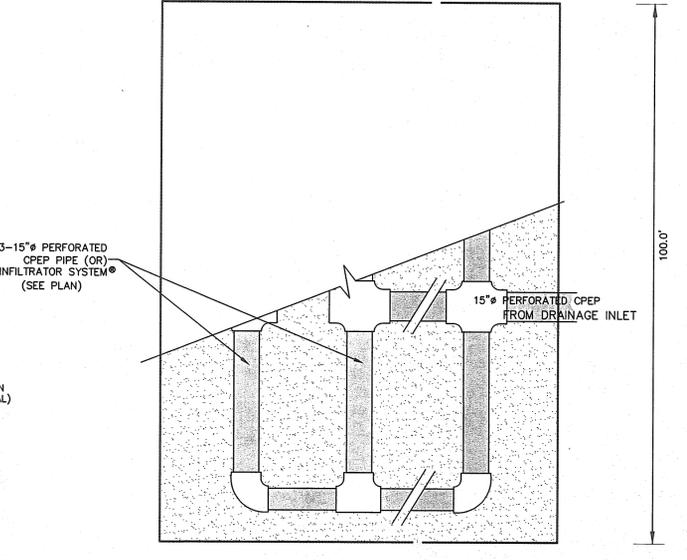
APPROVED
 City of Destin
 City of Destin
 Certificate of Occupancy
 Technical Review Team
 15-02-SP

SHEET
 5 of 9

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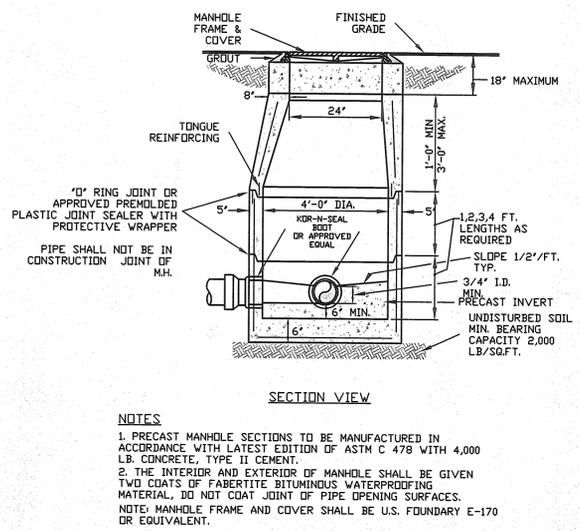


1 DOUBLE SILT FENCE DETAIL (NOT TO SCALE)

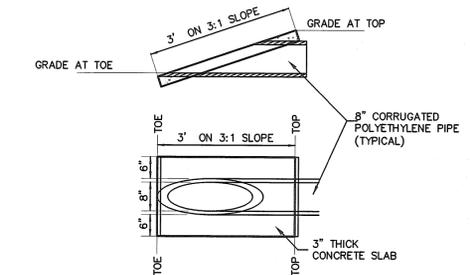
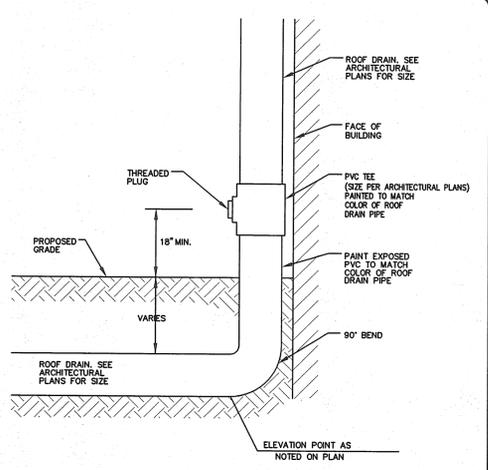


2 TYPICAL EXFILTRATION TRENCH DETAIL (N.T.S.)

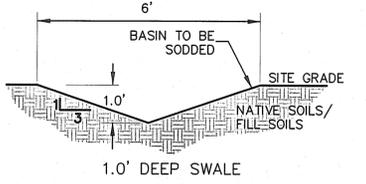
3 SEWER STORM DRAIN STANDARD MANHOLE (8'-21" SEWERS) N.T.S.



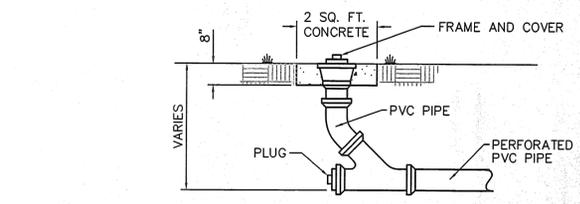
4 ROOF DRAIN CLEAN OUT DETAIL (NOT TO SCALE) [DRMP Detail No. 148]



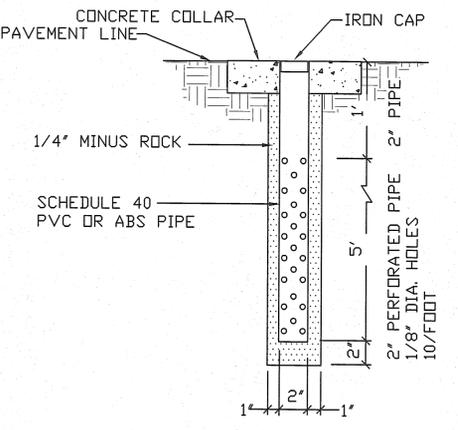
5 CROSS DRAIN MITRED END SECTION ROUND CORRUGATED POLYETHYLENE PIPE (NOT TO SCALE)



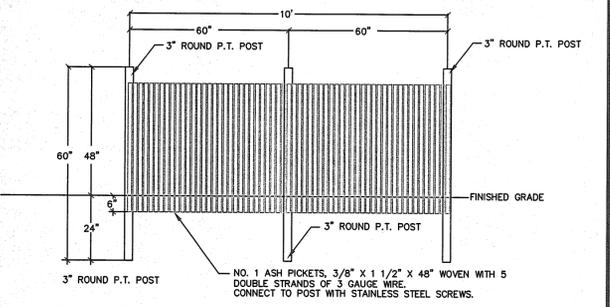
10 SWALE DETAIL (NOT TO SCALE)



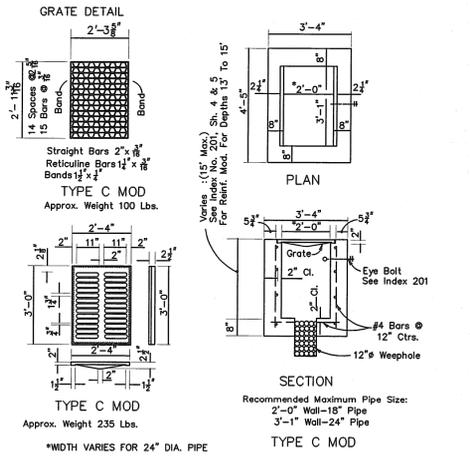
6 CLEAN OUT DETAIL (NOT TO SCALE)



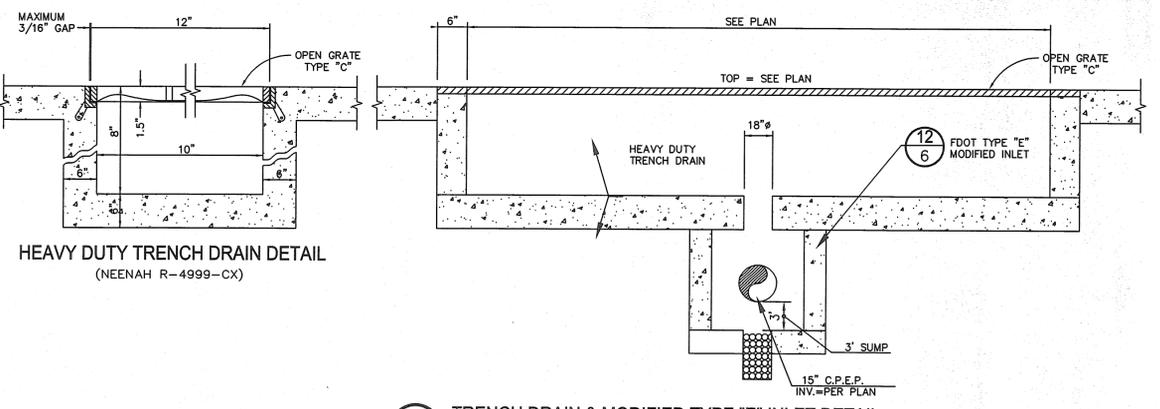
12 OBSERVATION WELL (NOT TO SCALE)



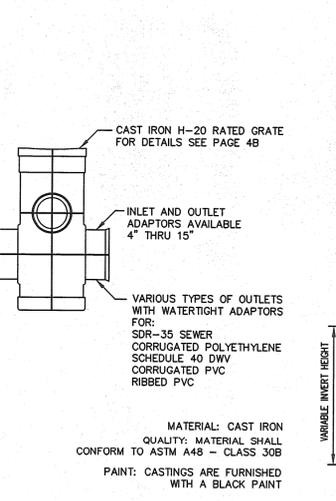
9 SAND FENCE DETAIL (NOT TO SCALE)



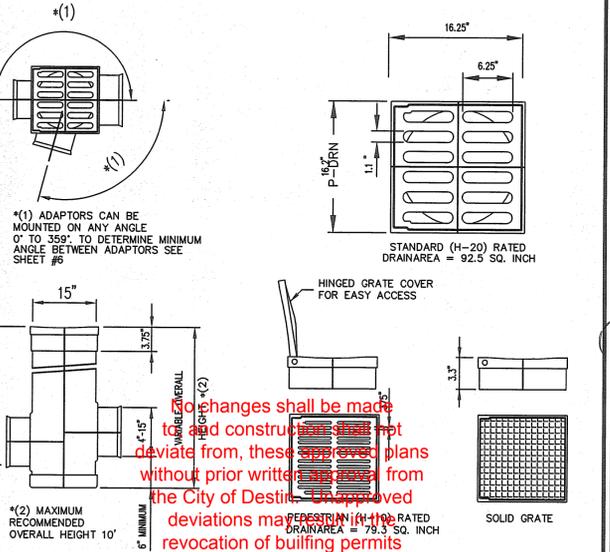
8 F.D.O.T. TYPE "C" MODIFIED INLET (NOT TO SCALE)



7 TRENCH DRAIN & MODIFIED TYPE "E" INLET DETAIL (N.T.S.)



11 15" NYLOLAST DRAIN SYSTEM (NOT TO SCALE)



APPROVED
February 17, 2015
City of Destin
Technical Review Team
15-02-SP

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REQUESTED BY: LESLIE ANN BROWN/ ROOMS DEVELOPMENT
1900 NINETY-EIGHT
 IN UNDIVIDED TOWNSHIP 2 SOUTH, RANGE 22 WEST
 OF OKALOOSA COUNTY, FLORIDA

**GRADING
DETAILS**

DATE	REVISION	BY	DATE
11/17/13	REVISED DATE, MANHOLES AND GRADING PLAN	DAFB	
02/20/15	REVISED PAVING AND BRIDGE, PER CITY RECOMMEND	DAFB	

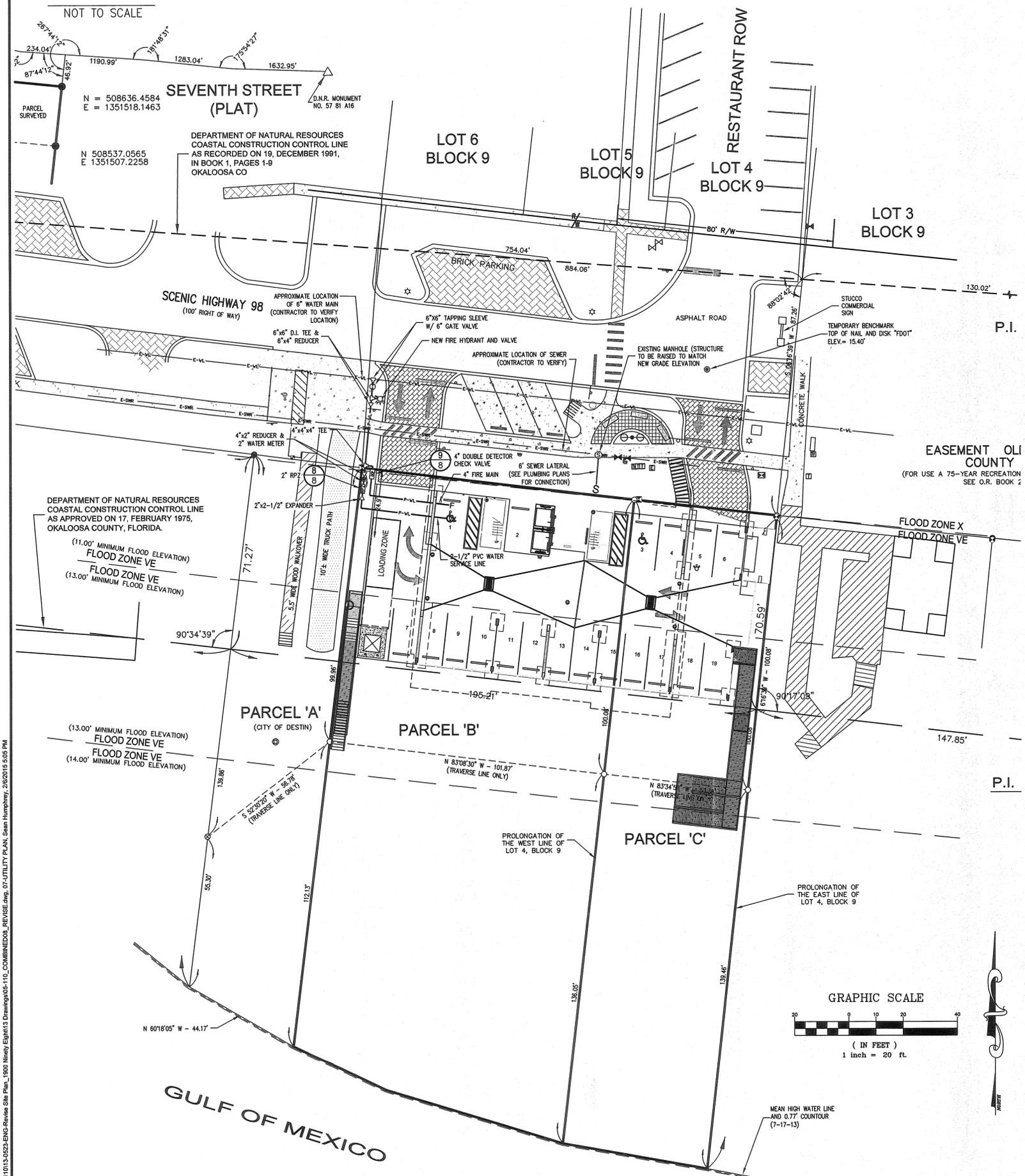
NOT VALID WITHOUT SIGNATURE AND ORIGINAL PAPER COPY OF A FLORIDA REGISTERED PROFESSIONAL ENGINEER

Dean A. F. Burgis
DEAN A. F. BURGIS
 PROFESSIONAL ENGINEER No. 50705

PROJECT: **05-110**
 SCALE: N.T.S. DRAWN BY: MS/DLL
 ORDER: 13-0523 DESIGN BY: MS
 DWG. DATE: 07/22/13 CHECK BY: DAFB
 FILE: 05-110_COMPRIOR_REVISE.dwg

**SHEET
6 of 9**

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LEGEND
SYMBOLS

- PAVERS
- ASPHALT
- CONCRETE
- GUY ANCHOR
- TELEPHONE PEDESTAL
- CABLE TV BOX
- POWER POLE
- LIGHT POLE
- ELECTRIC RISER
- SEWER TAP
- BACKFLOW PREVENTOR
- 6" WOOD FENCE
- 6" CHAIN LINK FENCE
- CENTERLINE
- SINGLE POLE SIGN
- EXISTING SPOT ELEVATION AT "X"
- PROPOSED SPOT ELEVATIONS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- T.B.M. (TEMPORARY BENCH MARK)
- BURIED FIBER OPTIC CABLE SIGN
- STORM SEWER MANHOLE
- DRAINAGE INLET
- PERC TEST LOCATION
- NYLOPLAST INLET
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- STAKED SILT FENCE
- UTILITY EASEMENT
- OVERHEAD UTILITY LINE
- LANDSCAPE BUFFER LINE
- BUILDING SETBACK LINE
- EXISTING GAS LINE
- PROPOSED SEWER LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING FORCE MAIN
- PROPOSED FORCE MAIN
- EXISTING SEWER LINE
- SANITARY SEWER STUBOUT
- WATER SHUT-OFF
- SANITARY SEWER MANHOLE
- CLEAN-OUT
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- WATER VALVE
- WATER FAUCET
- RPZ BACKFLOW PREVENTER
- WATER METER
- LIFT STATION
- ELBOW (TYP.)
- TEE
- CURB-STOP
- REDUCER

UTILITY COMPANIES

CONTRACTOR SHALL HAVE ALL EXISTING BURIED UTILITIES "LINE SPOTTED" BY CALLING 1-800-432-4770 "CALL SUNSHINE" OR BY CONTACTING LOCAL UTILITY COMPANIES.

WATER: DESTIN WATER USERS, INC
218 MAIN STREET
DESTIN, FL 32541
PHONE: (850) 837-6146

SEWER: DESTIN WATER USERS, INC
218 MAIN STREET
DESTIN, FL 32541
PHONE: (850) 837-6146

TELEPHONE: CENTURYLINK SOUTHERN OPERATIONS
650 DENTON BOULEVARD
FT. WALTON BEACH, FL 32547
PHONE: 850-664-3751
800-488-2201

TV CABLE: COX COMMUNICATIONS INC.
320 N.W. RACETRACK ROAD
FT. WALTON BEACH, FL 32547
PHONE: 850-796-1299

ELECTRIC: GULF POWER COMPANY
140 S.W. HOLLYWOOD BOULEVARD
FT. WALTON BEACH, FL 32548
PHONE: 244-4784

SANITARY SEWER CONSTRUCTION NOTES

- CONTRACTOR SHALL COORDINATE INSTALLATION OF SANITARY SEWERS WITH ALL OTHER UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- VIDEO INSPECTION IS REQUIRED FOR ALL GRAVITY SEWERS. A FULL REPORT SHALL BE GIVEN TO DESTIN WATER USERS UPON COMPLETION. COST OF VIDEO INSPECTION SHALL BE DONE BY THE CONTRACTOR.
- NO SANITARY SEWER CONSTRUCTION SHALL COMMENCE UNTIL SHOP DRAWING SUBMITTALS HAVE BEEN APPROVED.
- CONTRACTOR SHALL NOTIFY UTILITY COMPANY 48 HRS PRIOR TO COMMENCEMENT OF CONSTRUCTION. UTILITY CO. REPRESENTATIVES MUST WITNESS ALL TIES TO EXISTING LINES AND TESTS OF NEW LINES.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS PREPARED BY A REGISTERED LAND SURVEYOR IN ACCORDANCE WITH DESTIN WATER USERS SPECIFICATIONS.
- LOCATOR BALLS AS MANUFACTURED BY 3M PART NO. 1404 TO BE PLACED ON NORTH SIDE OF ALL MANHOLES NOT WITHIN PAVED AREAS, MANHOLES OUTSIDE OF PAVED AREAS SHALL BE CONSTRUCTED WITH TOP 6" ABOVE GRADE.
- LOCATOR BALLS AS MANUFACTURED BY 3M PART NO. 1404 REQUIRED AT ALL FORCE MAIN VALVE LOCATIONS.
- ALL FORCE MAINS SHALL HAVE 12 GAUGE TRACER WIRE WRAPPED ON THEM WITH WIRE STUBBED AT ALL VALVE BOXES.

POTABLE WATER CONSTRUCTION NOTES

- CONTRACTOR SHALL COORDINATE INSTALLATION OF POTABLE WATER MAINS WITH ALL OTHER UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- HYDROSTATIC TESTS, LEAKAGE TESTS, DISINFECTION, AND BACTERIOLOGICAL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE WRITTEN CONSTRUCTION SPECIFICATION OF DESTIN WATER USERS AND ALL APPLICABLE FDEP AND AWWA REQUIREMENTS.
- NO POTABLE WATER MAIN CONSTRUCTION SHALL COMMENCE UNTIL SHOP DRAWINGS HAVE BEEN APPROVED.
- PROVIDE LOCKS, IN ACCORDANCE WITH THE WRITTEN CONSTRUCTION SPECIFICATIONS OF DESTIN WATER USERS, ON ALL CURB STOPS.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. UTILITY REPRESENTATIVES WILL PERFORM ALL TAPS OF EXISTING LINES WITNESS ALL TIES OF AND TESTS OF NEW LINES.
- SERVICES INSTALLED UNDER ASPHALT TO BE INSTALLED IN 2" SCH. 40 PVC CASING EXTENDING 4'-0" BEYOND BACK OF CURB.
- CONTRACTOR SHALL INSTALL NUMBER 12 WIRE AROUND ALL PIPE AND SERVICES.
- IT IS REQUIRED THAT ALL NEW AND RELOCATED WATER SERVICES AND PLUMBING SHALL BE IN CONFORMANCE WITH STATE AND FEDERAL REGULATIONS PERTAINING TO THE CONTROL OF LEAD AND COPPER.
- CONTRACTOR SHALL PROVIDE A PRECAST CONCRETE METER BOX WITH A CAST IRON LID AT THE CURB STOP OF ALL WATER SERVICES AS SHOWN IN THE TYPICAL WATER METER INSTALLATION DETAIL. MATERIALS SHALL BE IN ACCORDANCE WITH THE WRITTEN SPECIFICATIONS OF DESTIN WATER USERS. METER IS TO BE SET BY DESTIN WATER USERS.
- CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS IN ACCORDANCE WITH DESTIN WATER USERS.
- THE LOCATION OF ALL WATER SERVICES SHALL BE MARKED BY THE LETTER "W" SCRIBED A MINIMUM OF 1" HIGH AND 1/4" DEEP IN CURB. **No changes shall be made to or deviations from these approved plans without the written approval of the City of Destin. Unapproved changes to building permits and the inability to secure a Certificate of Occupancy.**
- A 4" WATER BALL MARKER, AS MANUFACTURED BY 3M PART NO. 1403, SHALL BE PLACED AT ALL MANHOLE VALVE LOCATIONS AND AT ALL METER BOX LOCATIONS.
- DESTIN WATER USERS WILL MAKE ALL TAPS FOR EXTENSION OF MAINS. CONTRACTOR SHALL PROVIDE SLEEVES AND GATE VALVES.
- 2 MONTHS LEAD TIME FOR METER VAULTS.

APPROVED
February 17, 2015
City of Destin
Technical Review Team
15-02-SP



www.eca-fl.com

Emerald Coast Associates Inc.
Land Planning • Engineering • Surveying
Since 1979
179 Co. Hwy 393 South
Santa Rosa Beach, FLORIDA 32469
PH: (850) 267-0473, FAX: (850) 267-0973

CERTIFICATE OF AUTHORIZATION NUMBER: 00000000

REQUESTED BY: LESLIE ANN BROWN, ROOKIS DEVELOPMENT

1900 NINETY-EIGHT
IN UNDIVIDED TOWNSHIP 2 SOUTH, RANGE 22 WEST
OF OKALOOSA COUNTY, FLORIDA

UTILITY PLAN

DATE	REVISION	DRAWN BY	CHECKED BY
11/14/13	REVISED DUNE WALKWAYS AND GRADING PLAN	DLL	DARB
02/05/15	REVISED PARKING AND BRIDGE PER TRT REQUIREMENT	DLL	DARB

NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED PROFESSIONAL ENGINEER

Dean A. F. Burgis
DEAN A. F. BURGIS
PROFESSIONAL ENGINEER No. 50705

PROJECT: **05-110**

SCALE: 1" = 20' DRAWN BY: MS/DLL

ORDER: 13-0523 DESIGN BY: MS

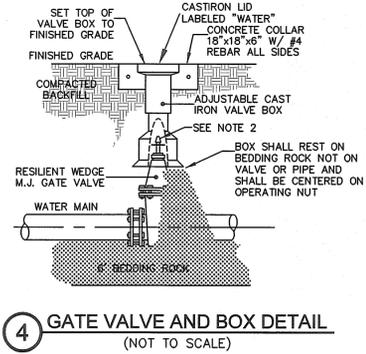
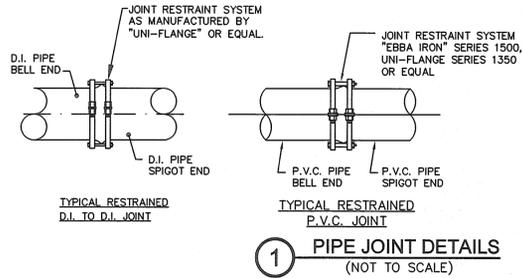
DWG. DATE: 07/22/13 CHECK BY: DARB

FILE: 05-110_COVRENEDOR_REVISE.dwg

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7 of 9

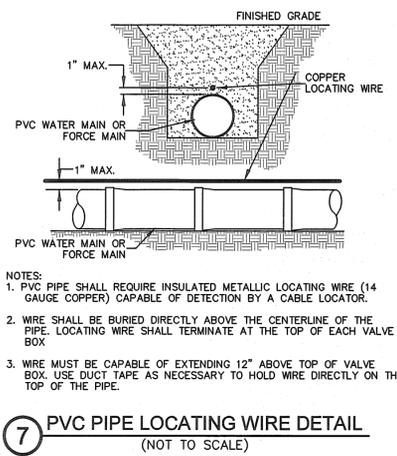
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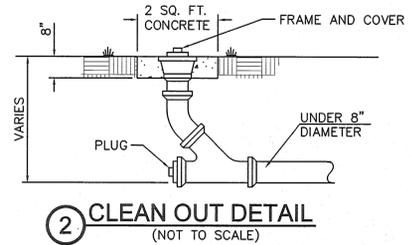
4 GATE VALVE AND BOX DETAIL
(NOT TO SCALE)

NOTES:
1. VALVE BOX EXTENSIONS SHALL BE CAST IRON.
2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

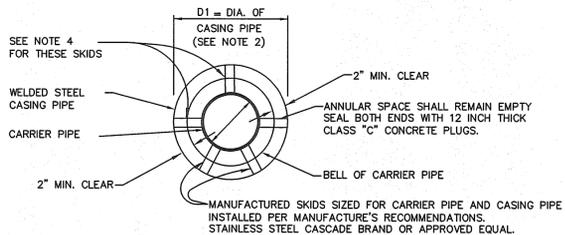


7 PVC PIPE LOCATING WIRE DETAIL
(NOT TO SCALE)

NOTES:
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (14 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR.
2. WIRE SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE. LOCATING WIRE SHALL TERMINATE AT THE TOP OF EACH VALVE BOX.
3. WIRE MUST BE CAPABLE OF EXTENDING 12\"/>



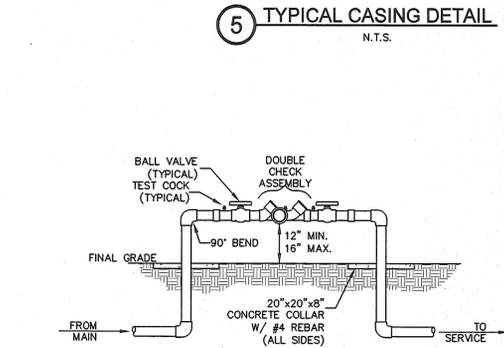
2 CLEAN OUT DETAIL
(NOT TO SCALE)



	CASING PIPE SIZES (MIN.)												
CARRIER PIPE NOM. DIA. (D1)	4"	6"	8"	10"	12"	14"	16"	18"	22"	24"	30"	36"	
CASING PIPE NOM. DIA. (D2)	8"	12"	16"	22"	24"	30"	30"	30"	36"	36"	48"	60"	
HWY X-ING WALL THK.-INCHES	0.188	0.188	0.188	0.188	0.188	0.188	0.188	0.188	0.188	0.250	0.375	0.500	

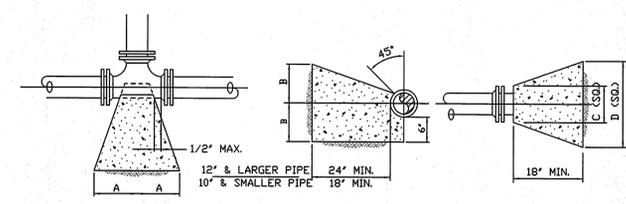
5 TYPICAL CASING DETAIL
N.T.S.

- MAIN CROSSING FOR ROADWAYS**
- MIN. COVER TO TOP OF CASING SHALL BE 36".
 - THE INSIDE DIAMETER OF THE CASING PIPE SHALL BE 4" GREATER THAN THAN THE OUTSIDE DIAMETER OF THE CARRIER PIPE BELL OR COUPLING.
 - ALL JACK AND BORE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION UTILITY ACCOMMODATION MANUAL, LATEST EDITION.
 - SKIDS SHALL BE SECURED TO THE CARRIER PIPE AS PER MANUFACTURERS RECOMMENDATIONS. (MINIMUM OF 3 SKIDS PER PIPE JOINT.)
 - ROTATION OF CARRIER PIPE INSIDE THE CASING PIPE WILL NOT BE PERMITTED. ALL JOINTS WITHIN THE CASING SHALL HAVE JOINT RESTRAINTS INSTALLED.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWING OF CASING AND CARRIER PIPE INSTALLATION FOR APPROVAL PRIOR TO PURCHASING MATERIALS.
 - CASING SHALL EXTEND A MINIMUM OF 8 FEET PAST EDGE OF PAVEMENT.



8 REDUCER PRESSURE BACKFLOW PREVENTER
(NOT TO SCALE)

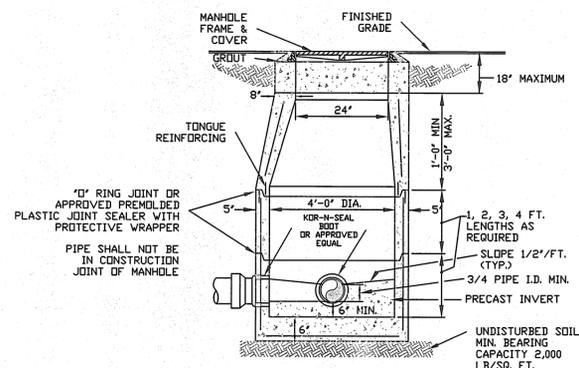
NOTES:
1. ALL PIPES AND PIPE FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 40 GALVANIZED STEEL OR BRASS.
2. FOLLOWING INSTALLATION, WRAP ENTIRE UNIT IN WEATHERPROOF INSULATION.
3. BACKFLOW PREVENTION DEVICE SHALL BE COORDINATED WITH AND APPROVED BY DESTIN WATER USERS, INC.



- 3 THRUST BLOCK DETAIL**
N.T.S.
- NOTES:
1. ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED SOIL.
2. THESE TABLES SHOW MINIMUM SIZE THRUST BLOCKS FOR GOOD SOIL. (A-1 THRU A-3, CLEAN SAND AND GRAVELS)
3. POOR SOIL (A-4 THRU A-8, SILTY SOILS, CLAYS, MUCK AND PEAT) WILL REQUIRE LARGER THRUST BLOCKS.

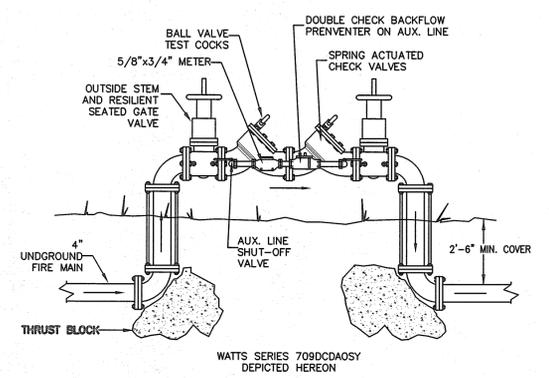
SIZE	PLUG C	PLUG D	CU. FT. CONC.
6"	10"	21"	2.6
8"	12"	29"	4.5
10"	14"	36"	6.9
12"	16"	41"	9.0
14"	18"	48"	12.3
16"	20"	54"	15.2
18"	22"	60"	
20"			

SIZE	TEE A	TEE B	CU. FT. CONC.
6"	10"	12"	3.5
8"	13"	16"	5.4
10"	16"	20"	9.4
12"	18"	24"	16.6
14"	22"	27"	23.2
16"	24"	30"	28.6
18"	26"	32"	
20"			



6 SANITARY SEWER STANDARD MANHOLE
N.T.S. (8'-21' SEWERS)

NOTES:
1. PRECAST MANHOLE SECTIONS TO BE MANUFACTURED IN ACCORDANCE WITH LATEST EDITION OF ASTM C 478 WITH 4,000 P.S.I. CONCRETE, TYPE II CEMENT.
2. THE INTERIOR AND EXTERIOR OF MANHOLE SHALL BE GIVEN TWO COATS OF FABRITITE BITUMINOUS WATERPROOFING MATERIAL. DO NOT COAT JOINT OF PIPE OPENING SURFACES.
3. MANHOLE FRAME AND COVER SHALL BE U.S. FOUNDRY E-170 OR EQUIVALENT.



9 DOUBLE CHECK DETECTOR ASSEMBLY BACKFLOW PREVENTER FOR FIRE MAINS
(NOT TO SCALE)

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APPROVED
February 17, 2015
City of Destin
Technical Review Team
15-02-SP

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PH: (850) 267-0473 FAX: (850) 267-0973

CERTIFICATE OF NUMBER 220277

REQUESTED BY: LESLIE ANN BROWN / ROOMS DEVELOPMENT

1900 NINETY-EIGHT
IN UNDIVIDED TOWNSHIP 2 SOUTH, RANGE 22 WEST OF OKALOOSA COUNTY, FLORIDA

UTILITY DETAILS
(1 OF 2)

DATE	REVISION	DRAWN BY	CHECK BY
11/7/13	REVISED DUNE WALKWAYS AND GRADING PLAN	DL	DWFB
02/05/15	REVISED PARKING AND BRIDGE, PER TRT RECOMMEND		

NOT VALID UNLESS SIGNED AND SEALED ORIGINAL RAISED OF A FLORIDA PROFESSIONAL ENGINEER

Dean A. F. Burgis
DEAN A. F. BURGIS
PROFESSIONAL ENGINEER No. 50705

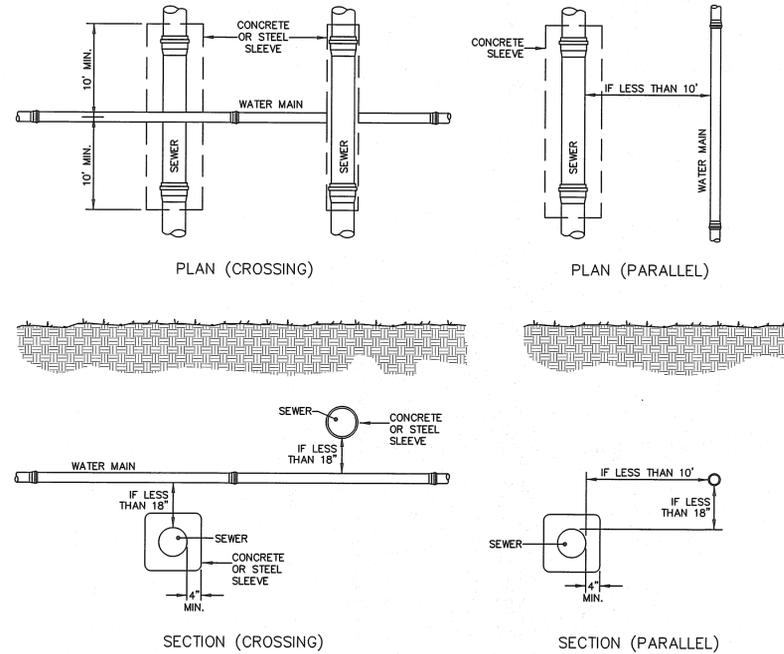
PROJECT: **05-110**

SCALE: N.T.S. DRAWN BY: MS/DLL
ORDER: 13-0523 DESIGN BY: MS
DWG. DATE: 07/22/13 CHECK BY: DAFB
FILE: 05-110_COMBINED_REVISE.dwg

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8 of 9

J:\2015\05-110\13-0523-ENC-Revise.dwg, 08-UTILITY DETAILS (1 OF 2), Sean Humphrey, 2/20/15 5:05 PM

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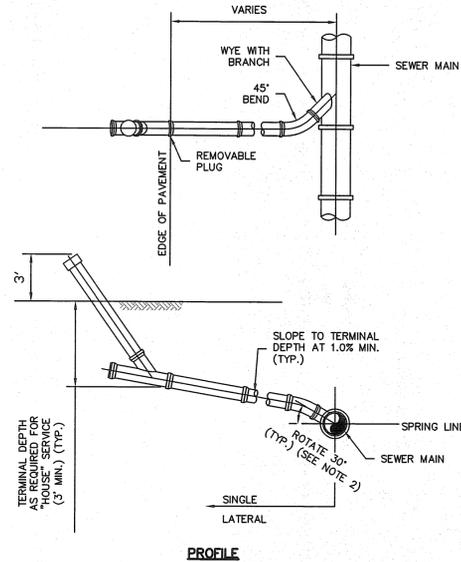


F.D.E.P. RULE 17-6.04.400

- SEWER CROSSINGS UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER PIPE IS LOCATED NO LESS THAN 10 FEET BETWEEN ANY TWO WATER MAIN JOINTS. ALTERNATIVELY, THE SEWER MAIN MAY BE PLACED IN A SLEEVE OR ENCASED IN CONCRETE.
- WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER A WATER MAIN, THE CRITERIA FOR MINIMUM SEPARATION BETWEEN LINES AND JOINTS IN (NOTE 1) ABOVE, SHALL BE REQUIRED.

FOR OTHER CONFLICTS AND CROSSINGS SEE F.D.E.P. RULES

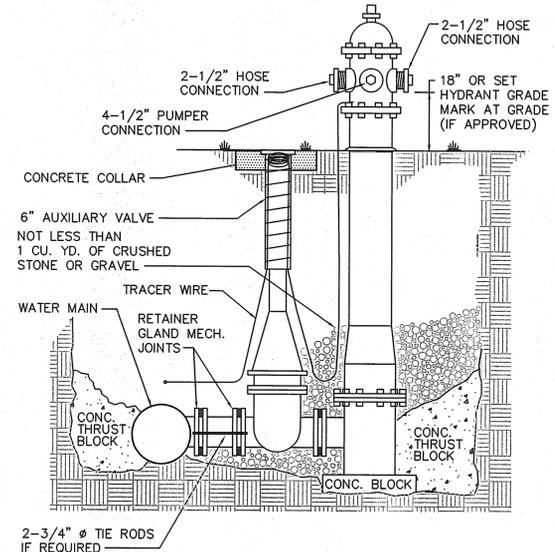
10 SEWER ENCASEMENT DETAILS
(NOT TO SCALE)



NOTES:

- MIN. SLOPE: 4" = 1/4" PER FOOT, 6" = 1/8" PER FOOT.
- INSTALL 12 GAUGE LOCATOR WIRE AROUND ALL SERVICES AND MAINS.
- LOCATIONS OF SERVICE STUB TO BE MARKED BY THE LETTER "S" SCRIBED A MINIMUM OF 2" HIGH & 1/4" DEEP IN CURB.
- IF NO CURBING IS INSTALLED A "3" SQUARE STEEL TAG IS TO BE ATTACHED TO STREET PAVEMENT W/NAIL.
- EXTENDED SERVICE CONNECTION TO R/W OR EASEMENT (SEE PLANS)
- SERVICE TRENCHING TO CONFORM TO CITY/COUNTY STANDARDS FOR PIPE INSTALLATION.
- INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.

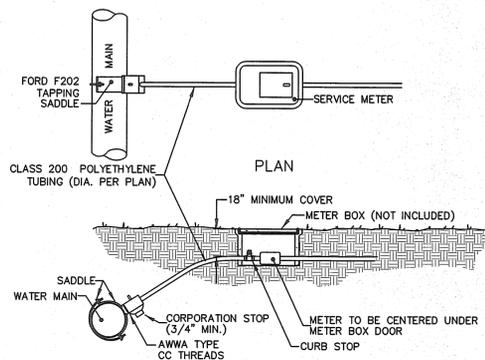
11 SERVICE LATERAL DETAIL
(NOT TO SCALE)



NOTES:

- ALL JOINTS FROM THE HYDRANT TO AND INCLUDING THE TEE AT THE MAIN SHALL BE RESTRAINED IF REQUIRED BY UTILITY.
- ROTATE FIRE HYDRANT, 4-1/2" PUMPER CONNECTION TO FACE STREET.
- ALL HYDRANTS SHALL HAVE A STANDARD PENTAGON 1-1/2" OPERATING NUT.
- ALL HYDRANTS SHALL HAVE A TAMPER PROOF BONNET INSTALLED.
- ALL HYDRANT SERVICES MUST BE TAPPED OFF DEDICATED FIRELINE (UNLESS APPROVED OTHERWISE BY THE GENERAL MANAGER OR A DESIGNATED REPRESENTATIVE OF DESTIN WATER USERS).
- THREADED RODS SHALL NOT BE ALLOWED BETWEEN THE HYDRANT AND THE ISOLATION VALVE. THRUST BLOCKS SHALL BE UTILIZED INSTEAD.

12 FIRE HYDRANT ASSEMBLY DETAIL
(NOT TO SCALE)



8 SINGLE WATER SERVICE DETAILS
(NOT TO SCALE)

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APPROVED
February 17, 2015
City of Destin
Technical Review Team
15-02-SP

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REQUESTED BY: LESLIE ANN BROWN/ ROOMS DEVELOPMENT
1900 NINETY-EIGHT
 IN UNDIVIDED TOWNSHIP 9 SOUTH RANGE 22 WEST
 OF OKALOOSA COUNTY, FLORIDA
UTILITY DETAILS
 (2 OF 2)

DATE	BY	REVISION
11/14/13	MS/DLL	REVISED DUNE WALKERS AND GRADING PLAN
02/02/15	MS/DLL	REVISED PAVING AND BRIDGE, PER TRT RECORDMENT

NOT VALID WITHOUT SIGNATURE AND ORIGINAL PAPERWORK OF A FLORIDA LICENSED PROFESSIONAL ENGINEER

Dean A. F. Burgis
DEAN A. F. BURGIS
 PROFESSIONAL ENGINEER No. 50705

PROJECT: **05-110**
 SCALE: N.T.S. DRAWN BY: MS/DLL
 ORDER: 13-0523 DESIGN BY: MS
 DWG. DATE: 07/22/13 CHECK BY: DAFB
 FILE: 05-110_COMBINED08_REVISE.dwg
SHEET
 9 of 9

J:\200505-11013-0523-ENG-Revise.dwg_09-UTILITY DETAILS (2 OF 2), Sean Humphrey, 2/20/15 5:05 PM

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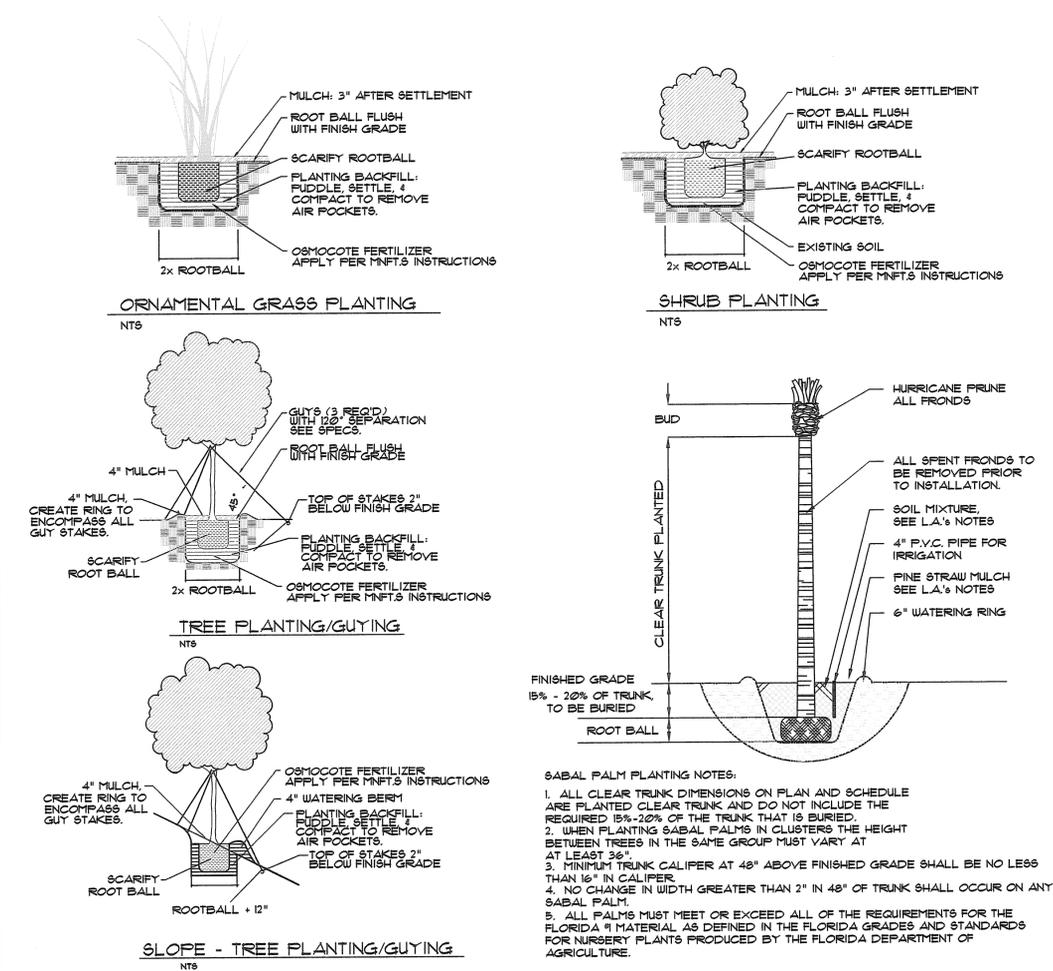
TREE REQUIREMENTS

CREDITS FOR EXISTING TREES (2" TO 6" DIAMETER) ON SITE	(Ø TREES X 2 CREDITS PER TREE):	0
CREDITS FOR EXISTING TREES (7" TO 12" DIAMETER) ON SITE	(Ø TREES X 3 CREDITS PER TREE):	0
CREDITS FOR EXISTING TREES (13" TO 19" DIAMETER) ON SITE	(Ø TREES X 4 CREDITS PER TREE):	0
CREDITS FOR EXISTING TREES (20" OR 24" DIAMETER) ON SITE	(Ø TREES X 5 CREDITS PER TREE):	0
TOTAL REFORESTATION CREDITS FOR EXISTING, PROTECTED OR PRESERVED TREES:		0
REFORESTATION TREES (1 PER ACRE, 61 X 10 = 61) REQUIRED ON SITE:		1
TOTAL REFORESTATION CREDITS FOR TREES REQUIRED ON SITE:		0
REPLACEMENT TREES (REMOVAL OF TREES OVER 12" D.B.H.) REQUIRED ON SITE:		0
TOTAL REFORESTATION TREES REQUIRED ON SITE:		1
FRONT PERIMETER TREES, (1 PER 25'), REQUIRED ON SITE:		0
PARKING LOT TREES (1 PER END ROW LANDSCAPE ISLAND) REQUIRED ON SITE:		4
VEGETATIVE BUFFER TREES, IF APPLICABLE, REQUIRED ON SITE		0
TOTAL TREES REQUIRED:		11
20% INCREASE FOR TIER 2:		3
TOTAL TREES REQUIRED:		14
TOTAL TREES PROVIDED:		31 CABBAGE PALM

LANDSCAPE NOTES

- ALL AREAS NOT PLANTED WITH SHRUBBERY OR TREES TO BE SOEDED WITH CENTIPEDE SOD.
- ALL 3:1 SWALE SIDESLOPES ARE TO BE STABILIZED WITH EROSION CONTROL FABRIC TO PREVENT EROSION.
- ALL PLANT MATERIAL TO BE WATERED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- IRRIGATION SYSTEM SHALL BE DESIGNED TO AVOID WATER COVERAGE ON SIDEWALKS AND PARKING AREAS.
- TREES HAVING AN AVERAGE MATURE SPREAD OF LESS THAN TWENTY FEET MAY BE ARRANGED IN GROUPINGS SO AS TO CREATE THE EQUIVALENT OF A 20' CROWN SPREAD.
- ALL LANDSCAPING WITHIN THE VISION TRIANGLE SHALL COMPLY WITH DESTIN LDC CHAPTER 8.03.06.
- NO TREE PLANTING SHALL OCCUR WITHIN 10' OF ANY EXFILTRATION COMPONENT.
- PLANT MATERIAL SHALL BE FLORIDA GRADE NUMBER ONE OR BETTER.
- SHRUBS AND HEDGES: 1/3 SHALL BE A MINIMUM OF 36" HT. AT TIME OF PLANTING
1/3 SHALL BE A MINIMUM OF 18" HT. AT TIME OF PLANTING
1/3 SHALL BE A GROUND COVER OF A 1 GALLON SIZE.
- ALL REQUIRED TREES SHALL BE A MINIMUM 12" IN HEIGHT AND HAVE A MINIMUM 4 1/2" CALIFER AT TIME OF PLANTING, CALIFER IS MEASURED AT 48" ABOVE GRADE.
- ALL COMMON BOUNDARY PLANTINGS SHALL ACHIEVE A MINIMUM OF 50% OPACITY AT 6' ABOVE GRADE WITHIN 3 YEARS OF PLANTING.

PLANTING DETAILS



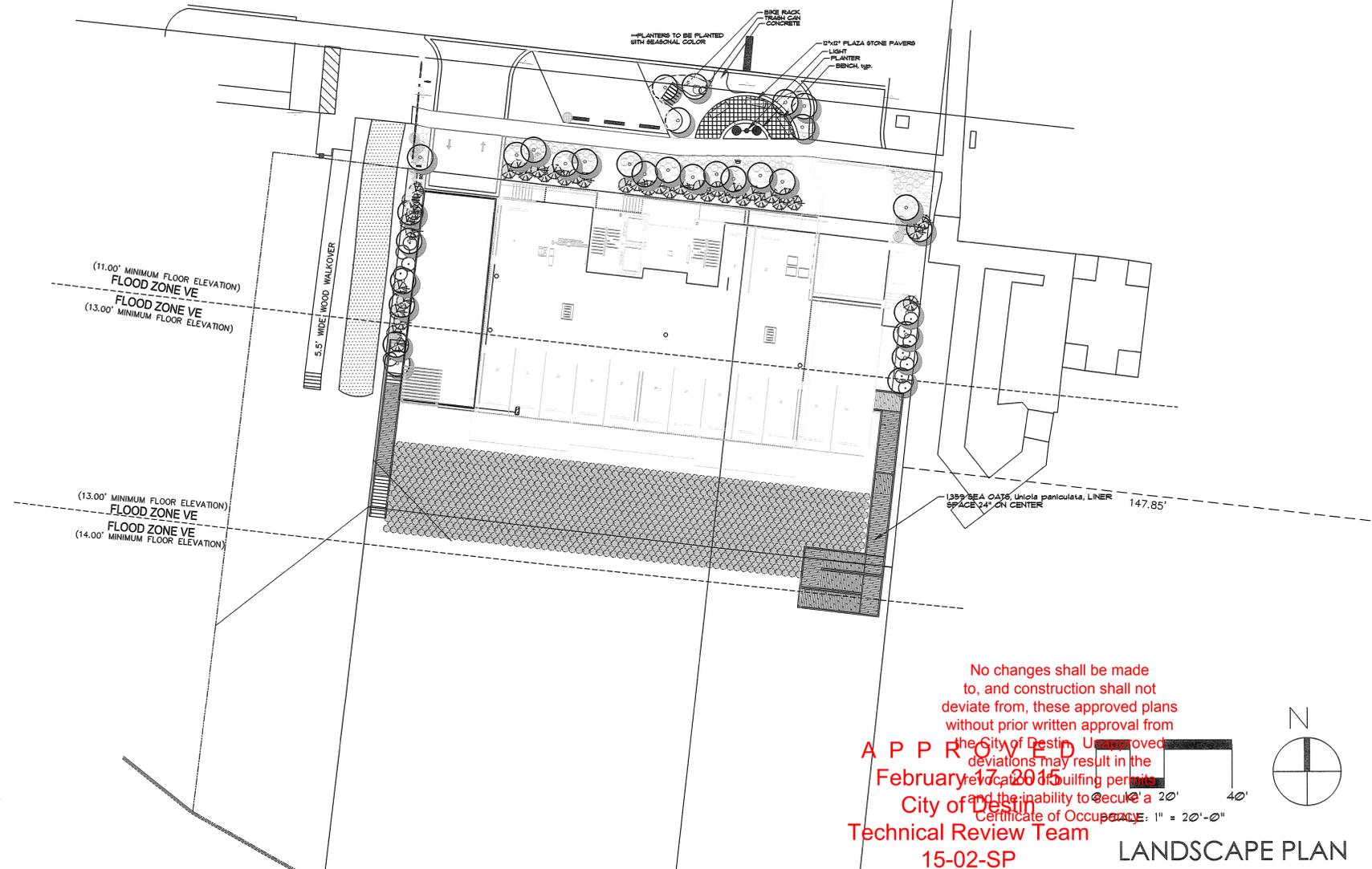
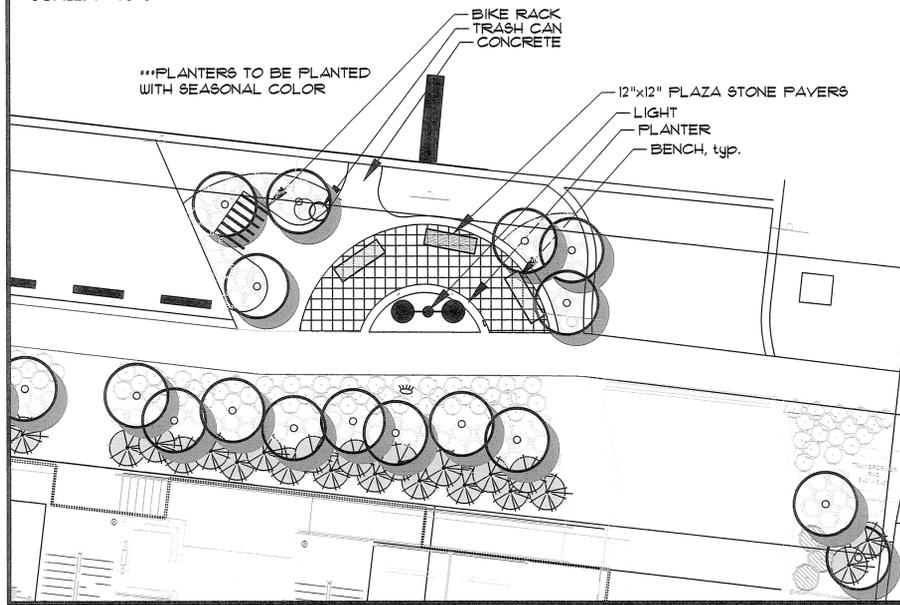
PLANT SCHEDULE

- 1 Cabbage Palm, Sabal palmetto, 12'-20' height
- 1 Saw Palmetto, Serenoa repens, 1 gal.
- 1 Dwarf Yaupon Holly, Ilex vomitoria 'Schillings', 3 gal.
- 1 African Iris, Dietes spp, 1 gal.
- 1 Conradina, Conradina canescens, 1 gal.
- 1 Sea Oats, Uniola paniculata, liner

SITE FURNITURE

- GATHERING AREA FURNISHINGS
ALL PRODUCTS MANUFACTURED BY KEYSTONE RIDGE
18002848200
- BENCHES
MODEL NUMBER BREAKWATER BENCH
BWD6
 - BIKE RACK
MODEL NUMBER SONANCE
SN69-2
 - PLANTERS
MODEL NUMBER TEI PLANTER
TE4-32
 - TRASH RECEPTACLE
MODEL NUMBER ARTESIAN LITTER RECEPTACLE
AR3-32

GATHERING AREA ENLARGEMENT



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APPROVED
February 17, 2016
City of Destin
Technical Review Team
15-02-SP

LANDSCAPE PLAN

1" = 20'-0"

bradford robert davis
790 highway 393 north, 2c santa rosa beach, fl 32459
Telephone 850.974.0616
bradford@davislandscape.com
fl 0001730
landscape architect

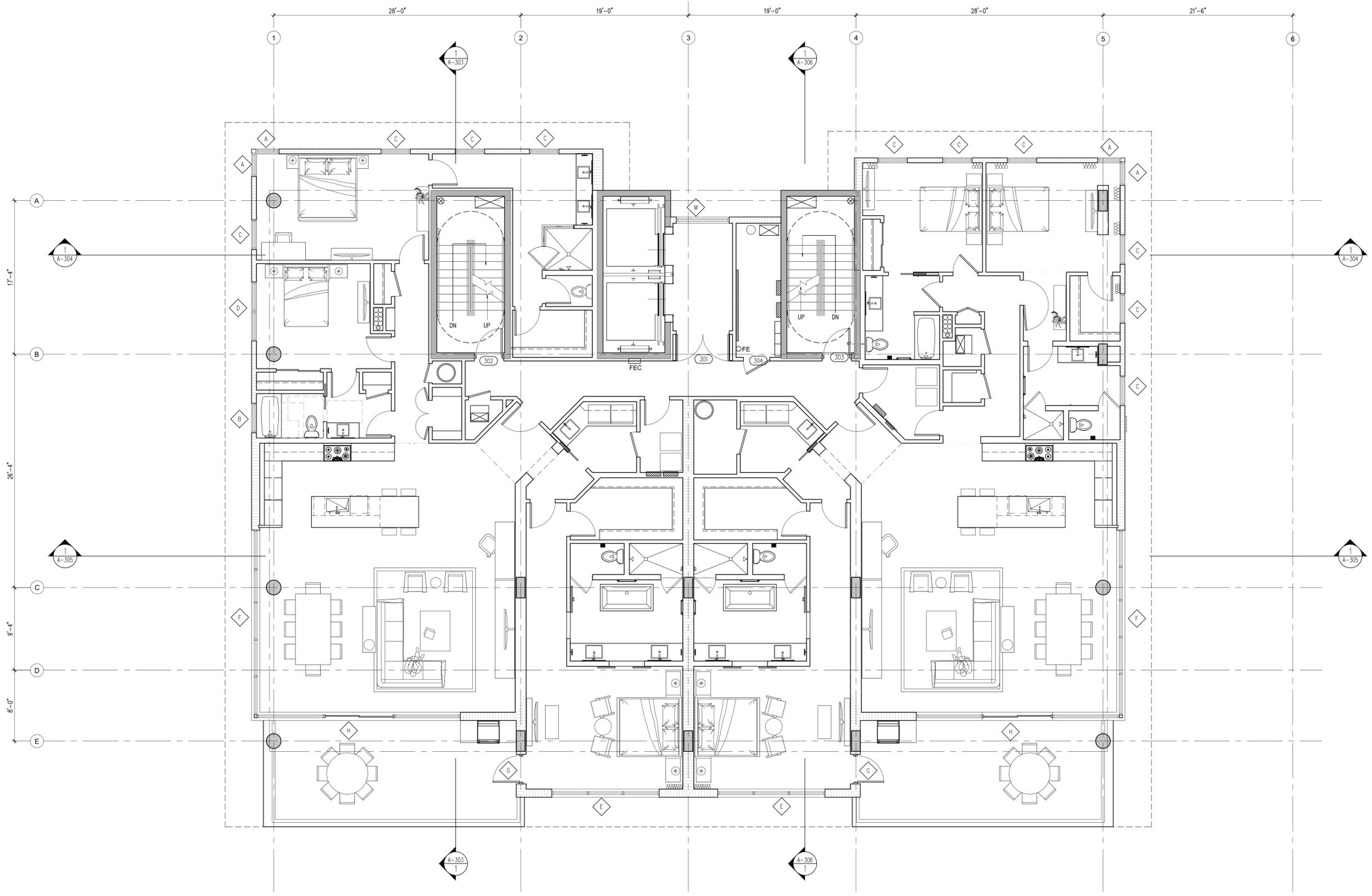
12/6/13

date revision
2/1/07 PER SITE PLAN CHANGES
3/8/07 PER SITE CITY COMMENTS
5/8/07 CITY COMMENTS
6/12/07 PER MEETING WITH CITY ENGINEER
12/6/13 ADJUSTED FOR FOOTPRINT

1900 98
PREPARED FOR ROOKIS DEVELOPMENT
DESTIN, FLORIDA

SHEET NUMBER L-1 OF 1

FFB
 A_FF-10
 A_FF-1
 A_FF-Intro-Fade
 A_FF-Prop-Fade
 A_FF-11
 C_Prop
 S_204
 A_FF-1
 A_FF-2
 A_FF-2
 A_FF-Prop
 A_FF-Intro
 A_FF-SP



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APPROVED
 February 17, 2015
 City of Destin
 Technical Review Team
 15-02-SP

7,190 square feet
FLOOR PLAN - LEVELS 3-9
 1
 SCALE: 3/16" = 1' WHEN PLOTTED AT 24 X 36
 *CONCEPTUAL DESIGN ONLY. PLANS WILL CHANGE



Chancey Design Partnership
 Architecture + Planning + Interior Design

Tampa
 1228 East 7th Avenue Tampa, FL 33605
 Tel 813-248-9258 Fax 813-247-3507

Seagrave
 5365 East County Highway 30A, Suite 108
 Seagrave Beach, FL 32459
 Tel 850-231-2057 Fax 850-231-3553

www.chanceydesign.com
 AAC 10472

1900 98
 A LUXURY CONDOMINIUM
 DESTIN, FLORIDA
 SCENIC 98 DEVELOPMENT, LLC

MARK	DATE	DESCRIPTION
	1/15/2015	FOUNDATION PERMIT SET
	12/10/2014	PREVIOUS FOUNDATION SUBMITTAL
		DATE PRINTED January 29, 2015
		PROJECT NO 13180

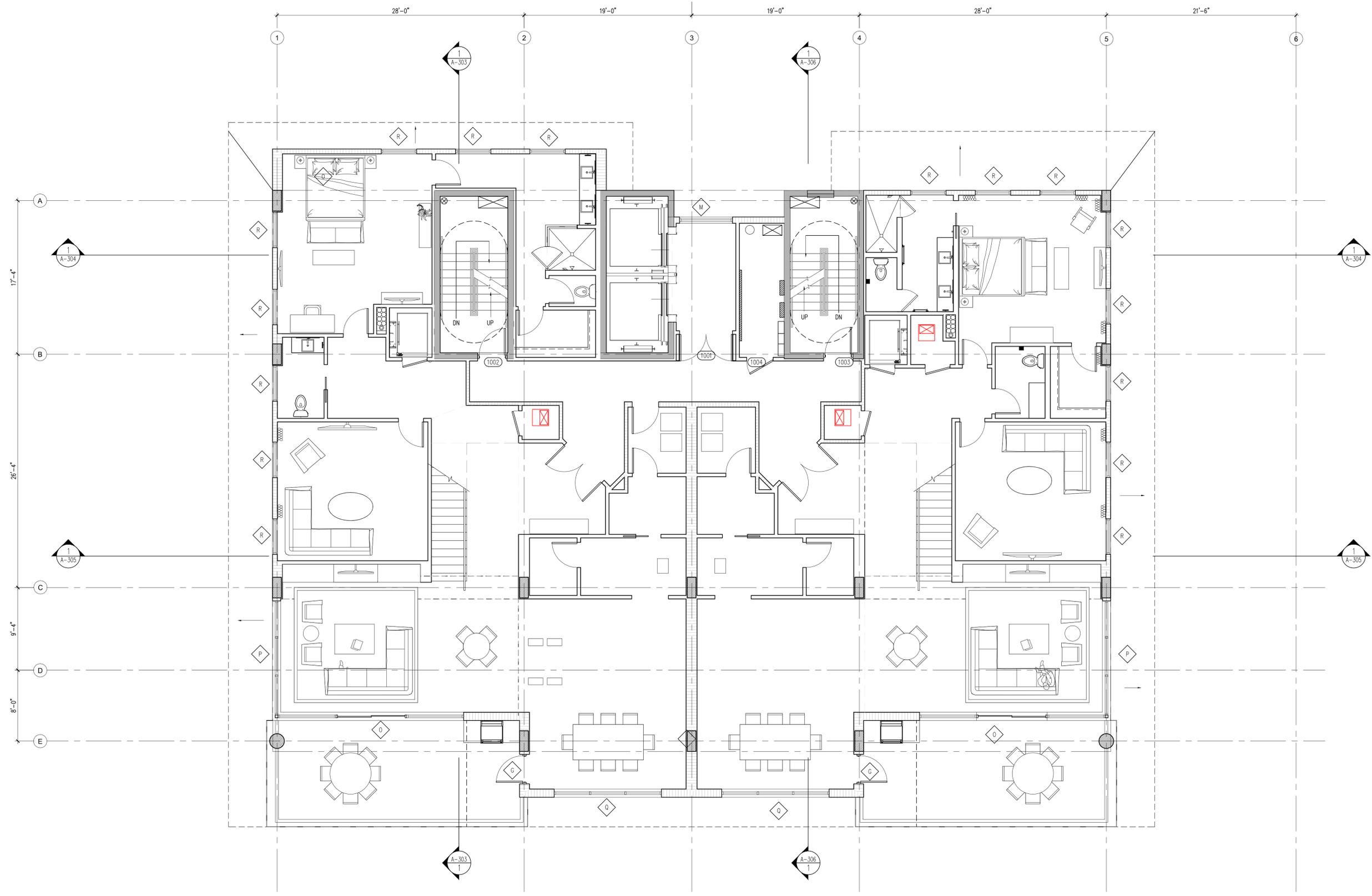
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 SHEET TITLE
FLOOR PLAN
LEVELS 3-9

A-103

P:\2013\13180_1900 Ninety Eight\01 Drawings\01 Sheets\A-101 Floor Plans.dwg
 Plotted On: Jan 29, 2015 @ 3:10pm

DATE PRINTED: January 29, 2015
 FOUNDATION PERMIT SET - SUBMITTAL TO ICC & CITY OF DESTIN

FIB
 A_JP-10
 A_JP-1
 A_JP-Intro-Fade
 A_JP-Post-Fade
 A_JP-11
 C_Prop
 S_204
 A_JP-1
 A_JP-2
 A_JP-2
 A_JP-Fade
 A_JP-Intro
 A_JP-Intro
 A_SP



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APPROVED
 February 17, 2015
 City of Destin
 Technical Review Team
 15-02-SP

6,706 square feet
PENTHOUSE 1ST FLOOR (LEVEL 10)*
 SCALE: 3/16" = 1' WHEN PLOTTED AT 24 X 36
 *CONCEPTUAL DESIGN ONLY. PLANS WILL CHANGE



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 SCENIC 98 DEVELOPMENT, LLC

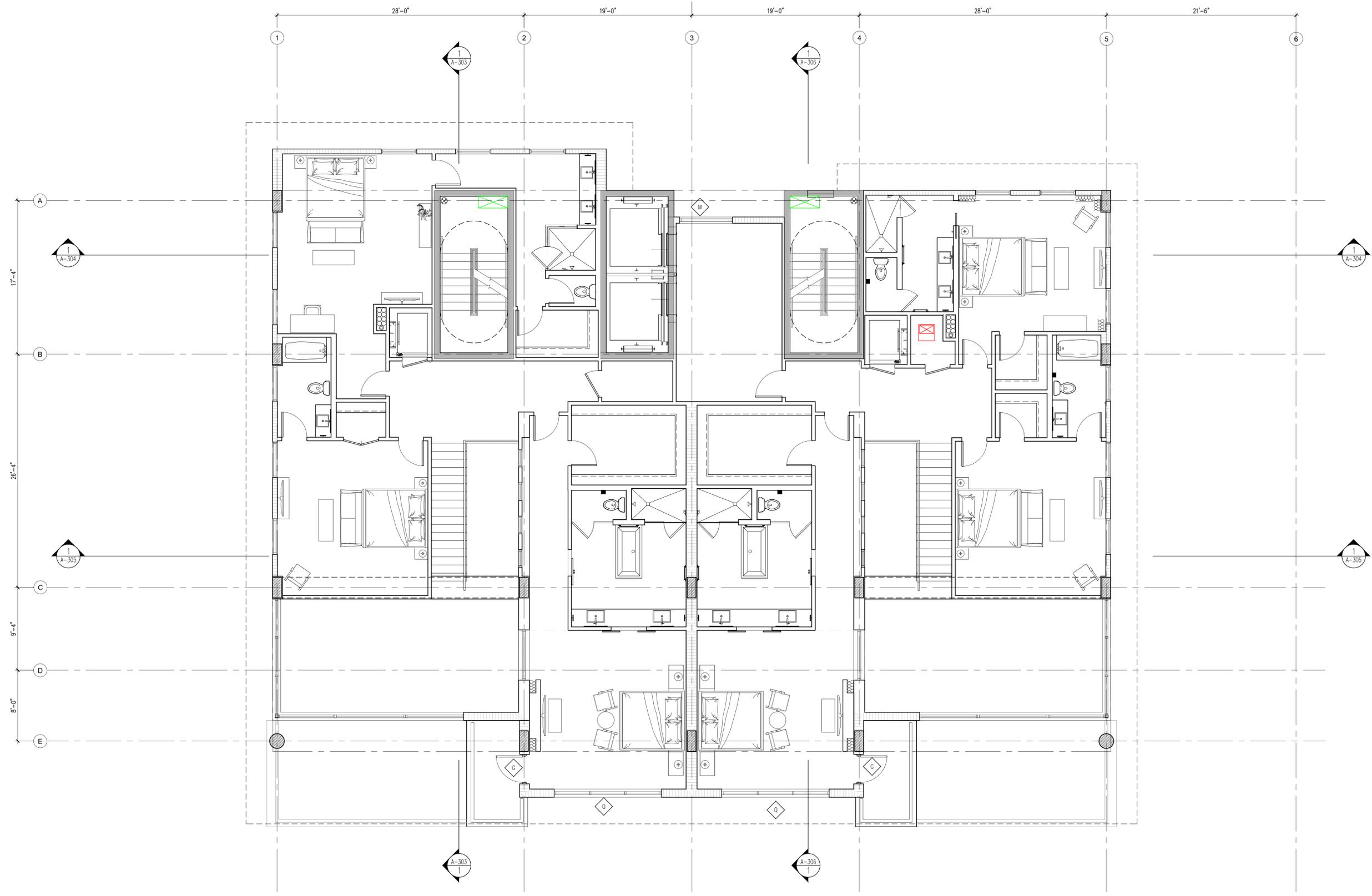
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	PROJECT NO	13180

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 SHEET TITLE
**FLOOR PLAN
 LEVEL 10**
A-110

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 A-11-10-1-100



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APPROVED
 February 17, 2015
 City of Destin
 Technical Review Team
 15-02-SP

6,178 square feet
PENTHOUSE-2ND FLOOR (LEVEL 11)*
 SCALE: 3/16" = 1' WHEN PLOTTED AT 24 X 36
 *CONCEPTUAL DESIGN ONLY. PLANS WILL CHANGE



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 SHEET TITLE
**FLOOR PLAN
 LEVEL 11**

A-111

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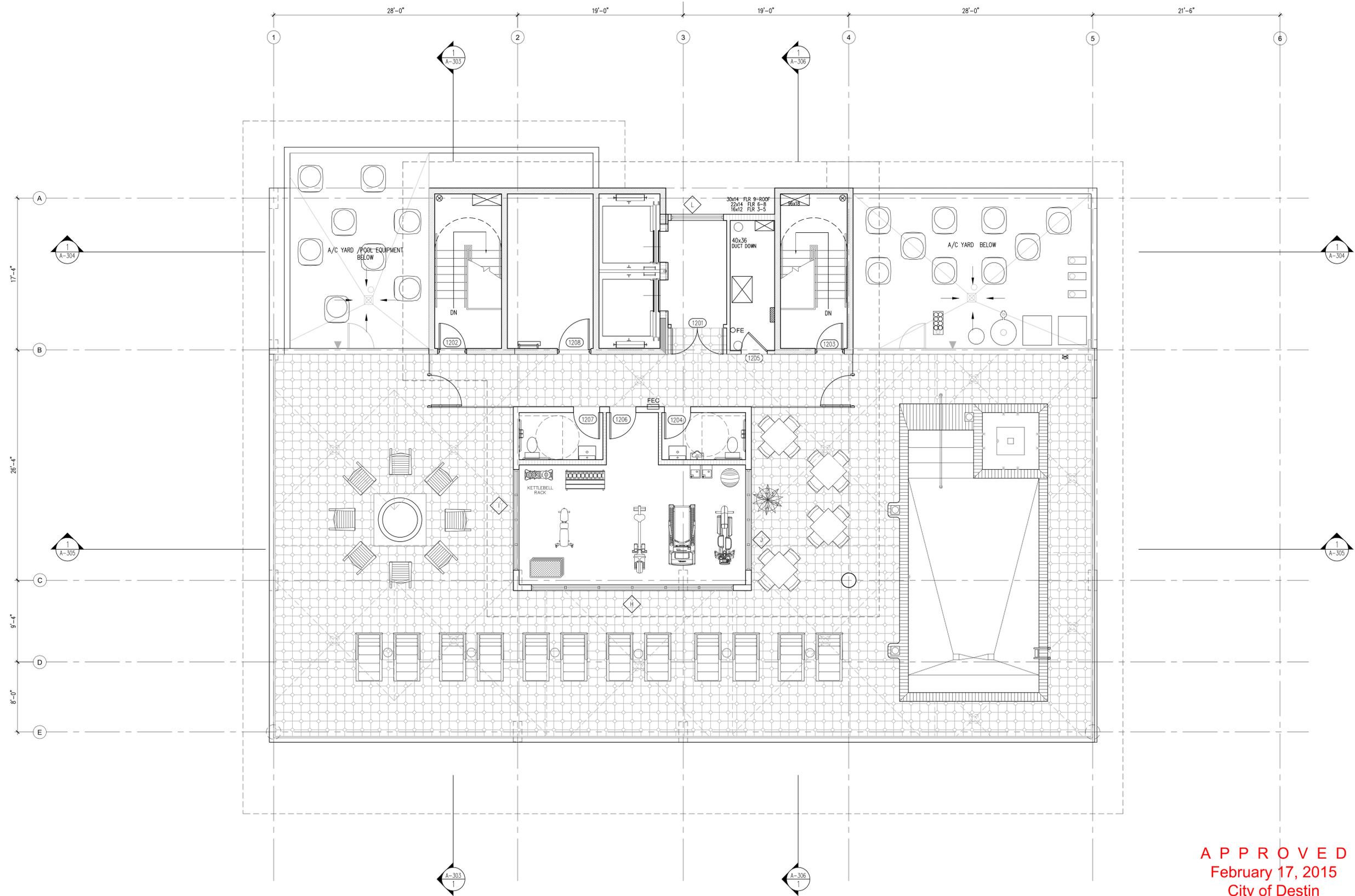
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TFB
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 A_JP-Intro-Fade
 A_JP-Pool-Fade
 A_JP-11
 C_Prop
 S_204
 A_JP-1
 A_JP-2
 A_JP-2
 A_JP-Fade
 A_JP-Intro
 A_JP-Intro
 A_SP
 A_SP



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APPROVED
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 Technical Review Team
 15-02-SP

4,838 square feet
POOL DECK (LEVEL 12)
 SCALE: 3/16" = 1' WHEN PLOTTED AT 24 X 36



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 SHEET TITLE
POOL DECK FLOOR PLAN
A-113

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TB8
 A_JP-10
 A_JP-1
 A_JP-Intro-Fade
 A_JP-Pool-Fade
 A_JP-11
 C_Prop
 S_204
 A_JP-1
 A_JP-2
 A_S27
 A_JP-Fade
 A_JP-Intro
 A_SP
 A_SP

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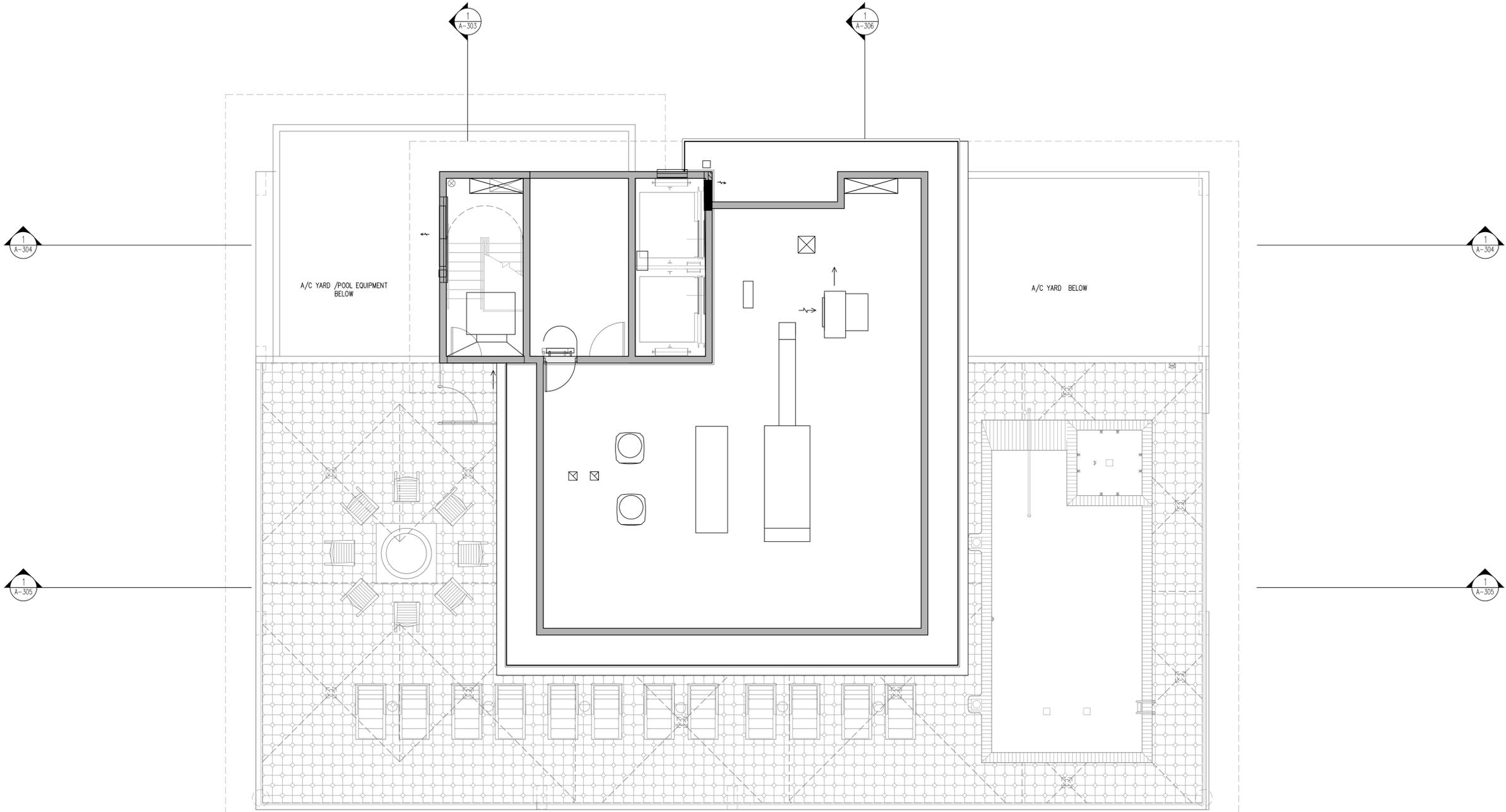
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SHEET TITLE
LOWER ROOF PLAN

A-114



No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

2,049 square feet
LOWER ROOF PLAN
 SCALE: 3/16" = 1' WHEN PLOTTED AT 24 X 36

APPROVED
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 A_JP-Post-Fade
 A_JP-11
 C_Rsp
 S_216
 A_JP-1
 A_JP-2
 A_JP-2
 A_JP-Fade
 A_JP-Intro
 A_JP-Intro
 A_SP
 A_SP

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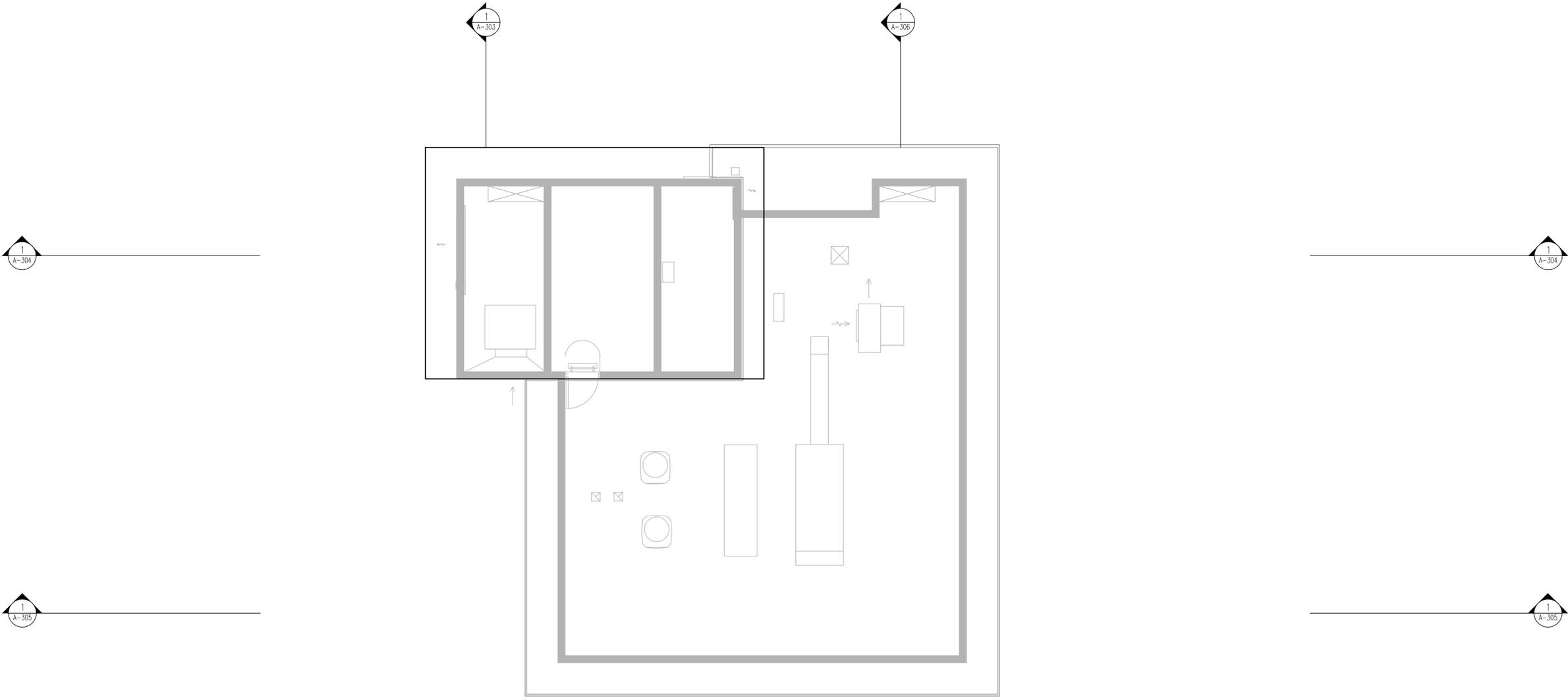
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SHEET TITLE
UPPER ROOF PLAN

A-115



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APPROVED
 February 17, 2015
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 15-02-SP

567 square feet
UPPER ROOF PLAN
 SCALE: 3/16" = 1' WHEN PLOTTED AT 24 X 36



REFS:
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 A.L.T.
 A_VerDim
 A_SDR
 A_SP
 A_PT-1
 Notes

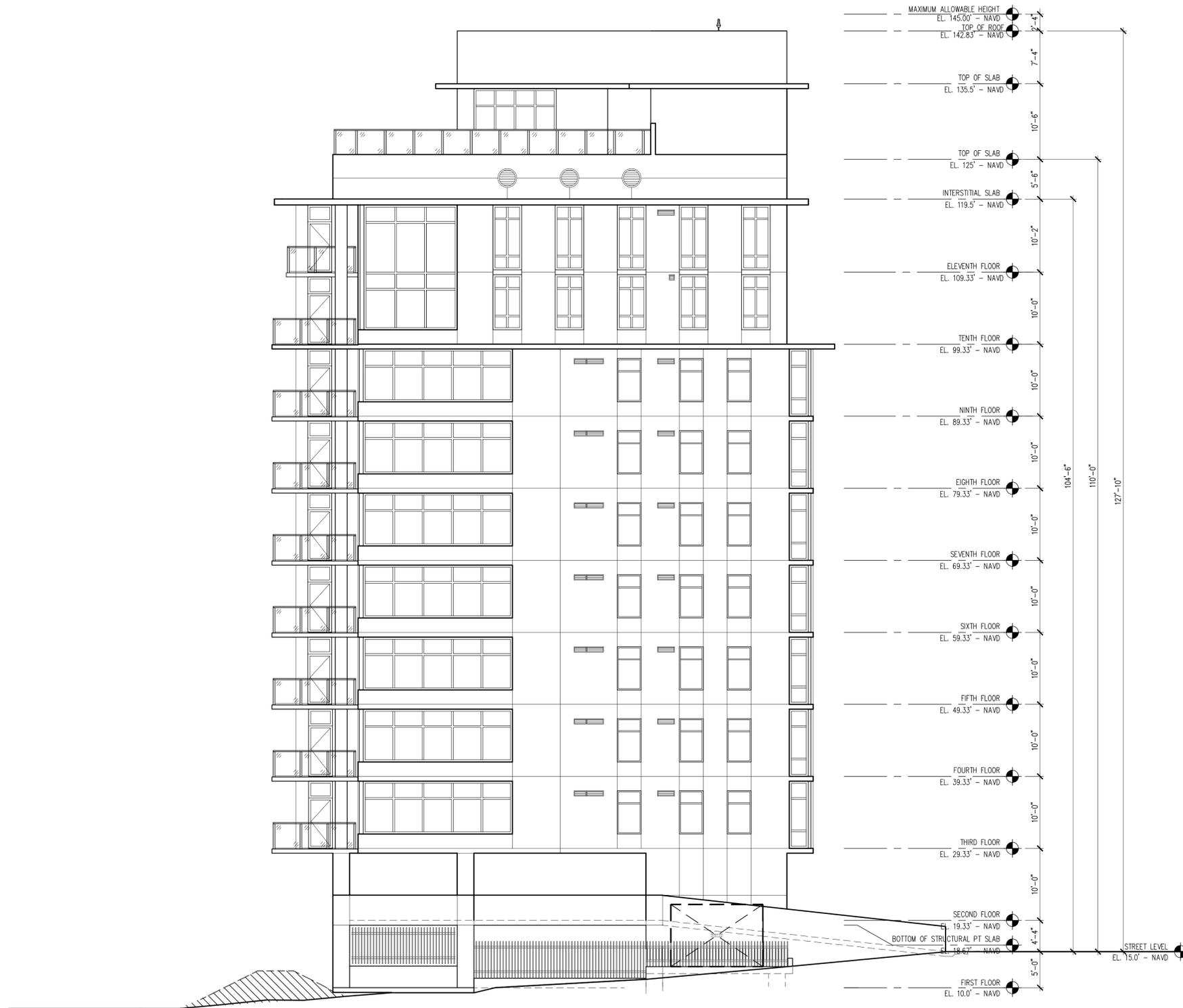
GENERAL NOTES

- DIMENSIONS ARE FROM TOP OF SLAB TO PLYWOOD DECK.
- REFER TO A-6XX FOR WINDOW TYPES.

KEY NOTES

- XXXX XX XXXXX X XXXXXXXXXXXXX

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1 EAST ELEVATION
 SCALE: 1/8" = 1' WHEN PLOTTED AT 24 X 36

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SHEET TITLE
EXTERIOR EAST ELEVATION

A-202

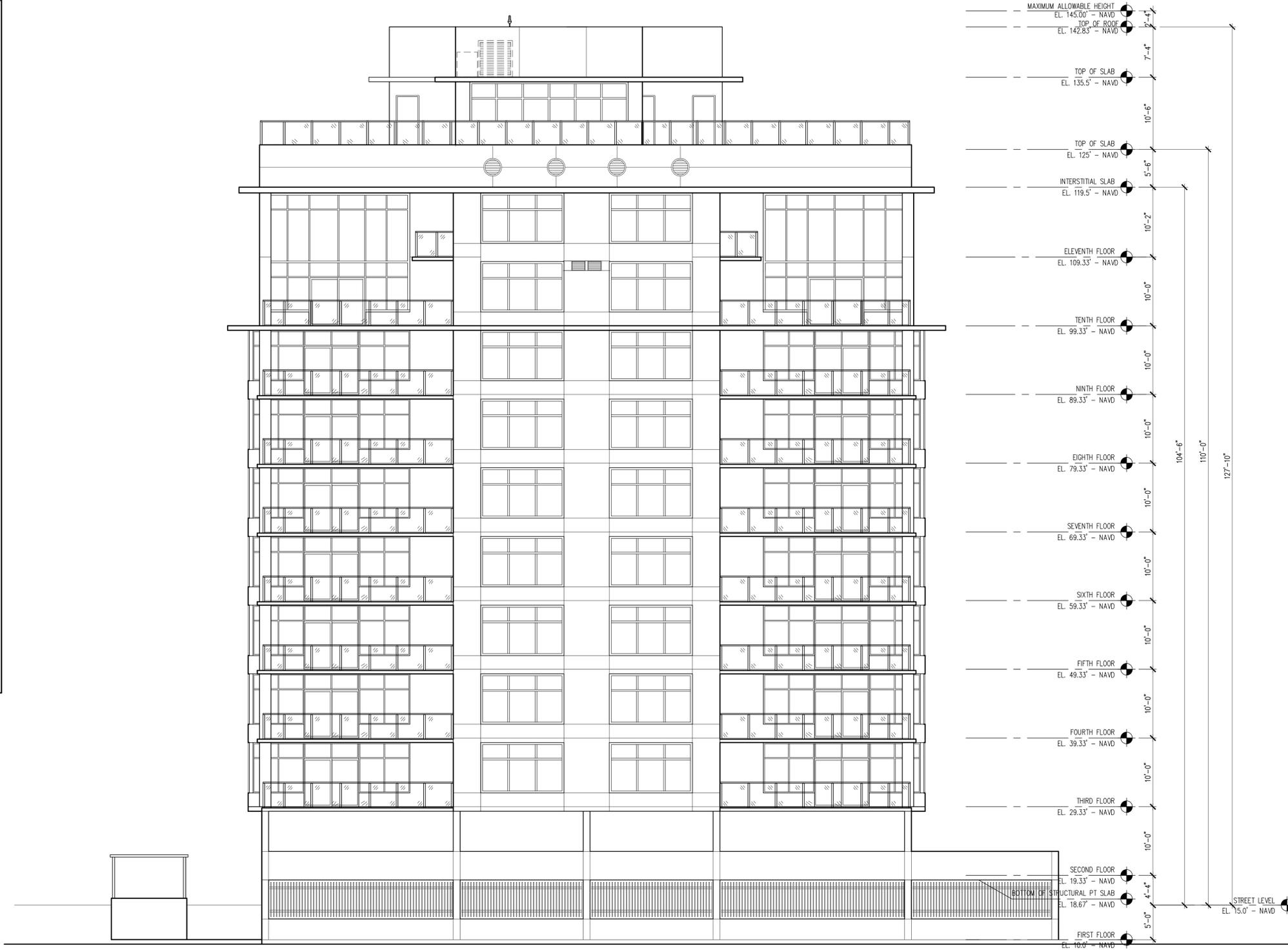
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 A.L.T.
 A_VerDim
 A_SDR
 A_SP
 A_LF-1
 Notes

GENERAL NOTES

1. DIMENSIONS ARE FROM TOP OF SLAB TO PLYWOOD DECK.
2. REFER TO A-6XX FOR WINDOW TYPES.

KEY NOTES

1. XXXX XX XXXXX X XXXXXXXXXXXXX



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1 SOUTH ELEVATION
 SCALE: 1/8" = 1' WHEN PLOTTED AT 24 X 36

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SHEET TITLE
EXTERIOR SOUTH ELEVATION

A-203

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REFS:
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 A.L.T.
 A_VenDms
 A_Sp
 A_LF-1
 Notes

GENERAL NOTES

- DIMENSIONS ARE FROM TOP OF SLAB TO PLYWOOD DECK.
- REFER TO A-6XX FOR WINDOW TYPES.

KEY NOTES

- XXXX XX XXXXX X XXXXXXXXXXXXX



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1 WEST ELEVATION
 SCALE: 1/8" = 1' WHEN PLOTTED AT 24 X 36

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SHEET TITLE
EXTERIOR WEST ELEVATION

A-204

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