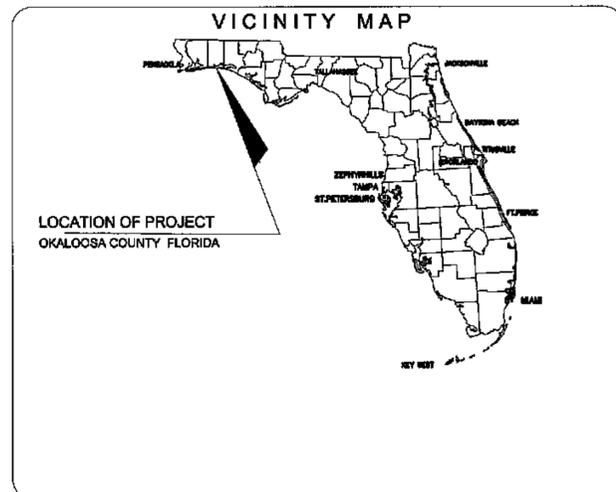


# DESTIN OAKS TOWNHOMES

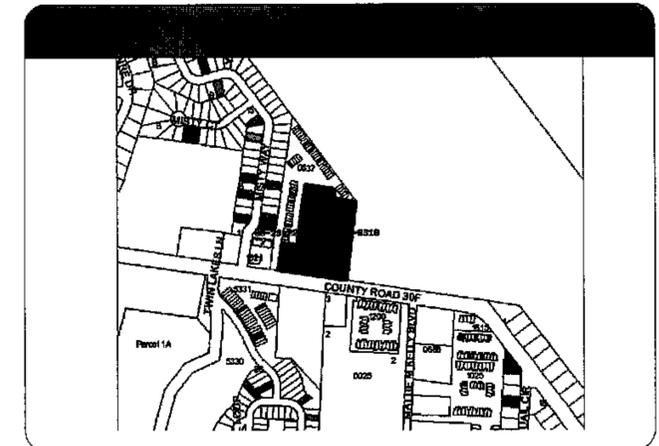
## DESTIN, OKALOOSA COUNTY, FLORIDA

D.O. AMENDMENT #1

06/08/14



PREPARED FOR  
**VIRTUE ESTATES, L.L.C**  
P.O BOX 5  
DESTIN, FLORIDA, 32540  
MANAGING MEMBER: JOHN CUNNINGHAM  
TELEPHONE: (850) 246-5646



PARCEL ID # 00-2S-22-0000-0001-0310  
5.023 ACRES

### INDEX OF DRAWINGS

- C-1 COVER SHEET
- C-2 EXISTING CONDITIONS
- C-3 DEMOLITION PLAN
- C-4 SITE PLAN
- C-5 EASEMENT PLAN
- C-6 GRADING PLAN
- C-7 DRAINAGE PLAN
- C-8 UTILITY PLAN
- C-9 PLAN AND PROFILE
- C-10 PLAN AND PROFILE
- C-11 PLAN AND PROFILE
- C-12 DETAILS
- C-13 DETAILS
- C-14 DETAILS
- C-15 LIFTSTATION DETAILS
- C-16 LIGHTING
- C-17 AIRPORT NOISE ZONE OVERLAY
- C-18 MOT

14-23-SP  
Planning  
**APPROVED**  
JUN 10 2014  
City of Destin  
Technical Review Team

No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

# ECM

*a complete engineering & construction management company*

4639 GULF STARR DRIVE  
DESTIN, FLORIDA 32541  
E-MAIL [jelamad@yahoo.com](mailto:jelamad@yahoo.com)  
P E #68840

TELEPHONE (850) 837-7454 (ENGR)  
TELEPHONE (850) 837-7456 (INSP)  
FAX (850) 654-2000  
FBPR CA 8419

### DUTY TO INDEMNIFY

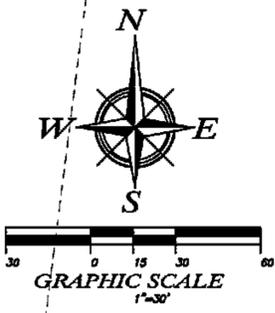
THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE OWNER AND ENGINEER AND THEIR RESPECTIVE MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF FLORIDA AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OR DAMAGE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

PARCEL ID # 00-2S-22-0000-0001-0310

LEGAL DESCRIPTION  
BEG SW COR LOT 45 BLK A KELL-AIRE GARDENS SLY ALG RD 505 84 FT SE  
ALG AIRPORT RD 1312 5 FT TO BEG CONT ALG RD 508 91 FT N7 DEG E540 5 FT  
N38 DEG W716 FT S7 DEG W1044 14 FT TO BEG 1025-156 & 1087-627  
EX DESTIN RACQUET CLUB T/H  
ACERAGE 5.023 ACRES

CONTRACTOR NOTES  
CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING GRADES AND ELEVATIONS AND INFORMING THE ENGINEER'S REPRESENTATIVE OF ANY DISCREPANCIES THAT WILL AFFECT THE STORMWATER DESIGN. THE ENGINEER'S REPRESENTATIVE WILL BE AVAILABLE TO MEET ON SITE ON A REGULAR BASIS.



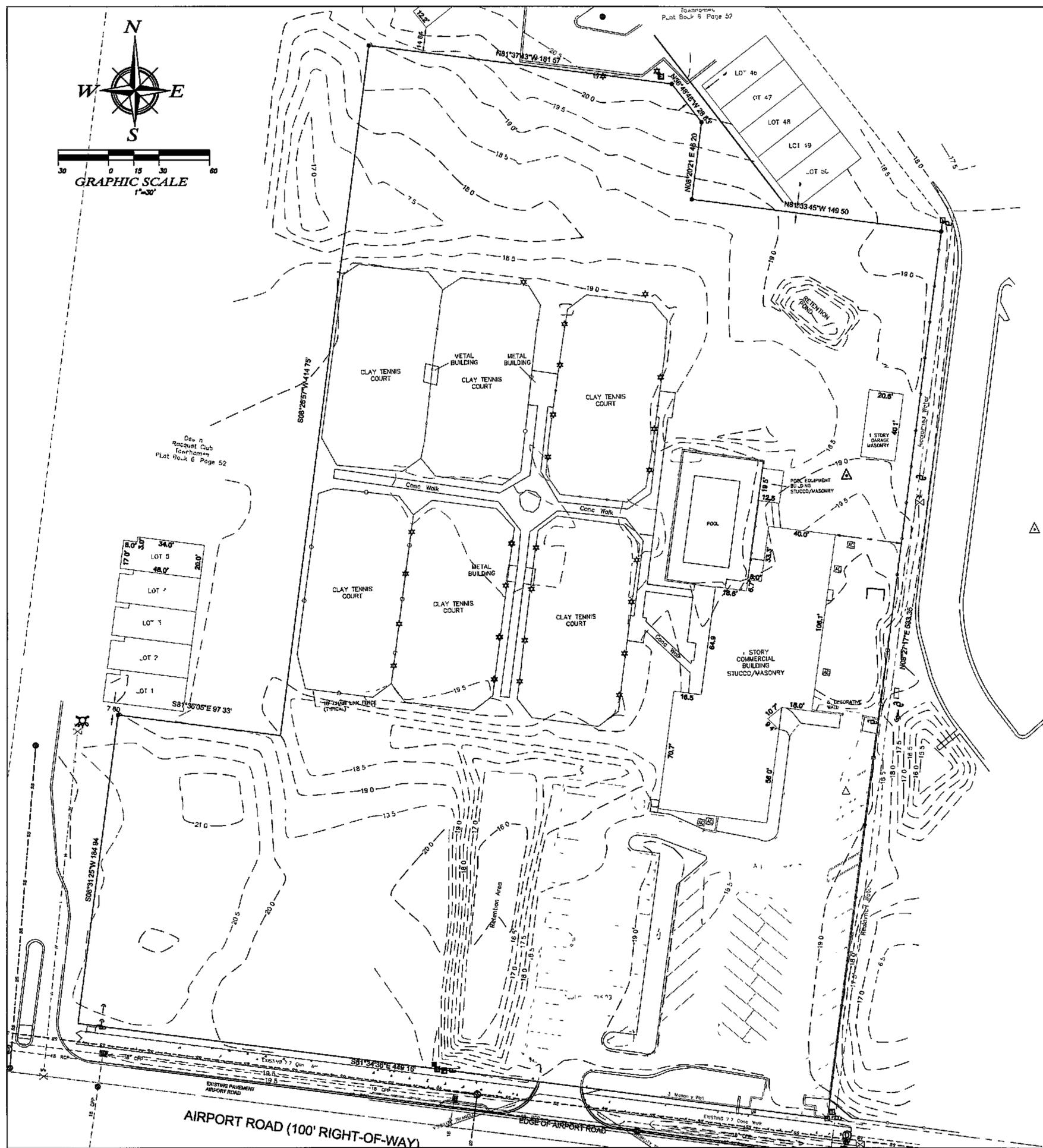


**LEGAL DESCRIPTION**  
 PARCEL ID # 00-23-22-0000-0001-0010  
 BEG SW COR LOT 45 BLK A KELL-ARE GARDENS SLY ALG RD 505.84 FT SE  
 ALG AIRPORT RD 1312.5 FT TO BEG CONT ALG RD 508.91 FT N7 DEG E54.05 FT  
 N38 DEG W71.6 FT S7 DEG W1044.14 FT TO BEG 1025-156 & 1087-627  
 EX DESTIN RACQUET CLUB T/H

**AREA TABULATION**  
 ACERAGE 218,808 SQ FT OR 5.023 ACRES

**FLOOD ZONE INFORMATION**  
 NOTE: THIS PARCEL IS LOCATED IN FLOOD ZONE  
 X AS DETERMINED BY SCALE FROM  
 FEMA FIRM 12131C0038G DATED SEPT 29 2010  
 OKALOOSA COUNTY FLORIDA AS PROVIDED BY RARE EARTH SURVEYING

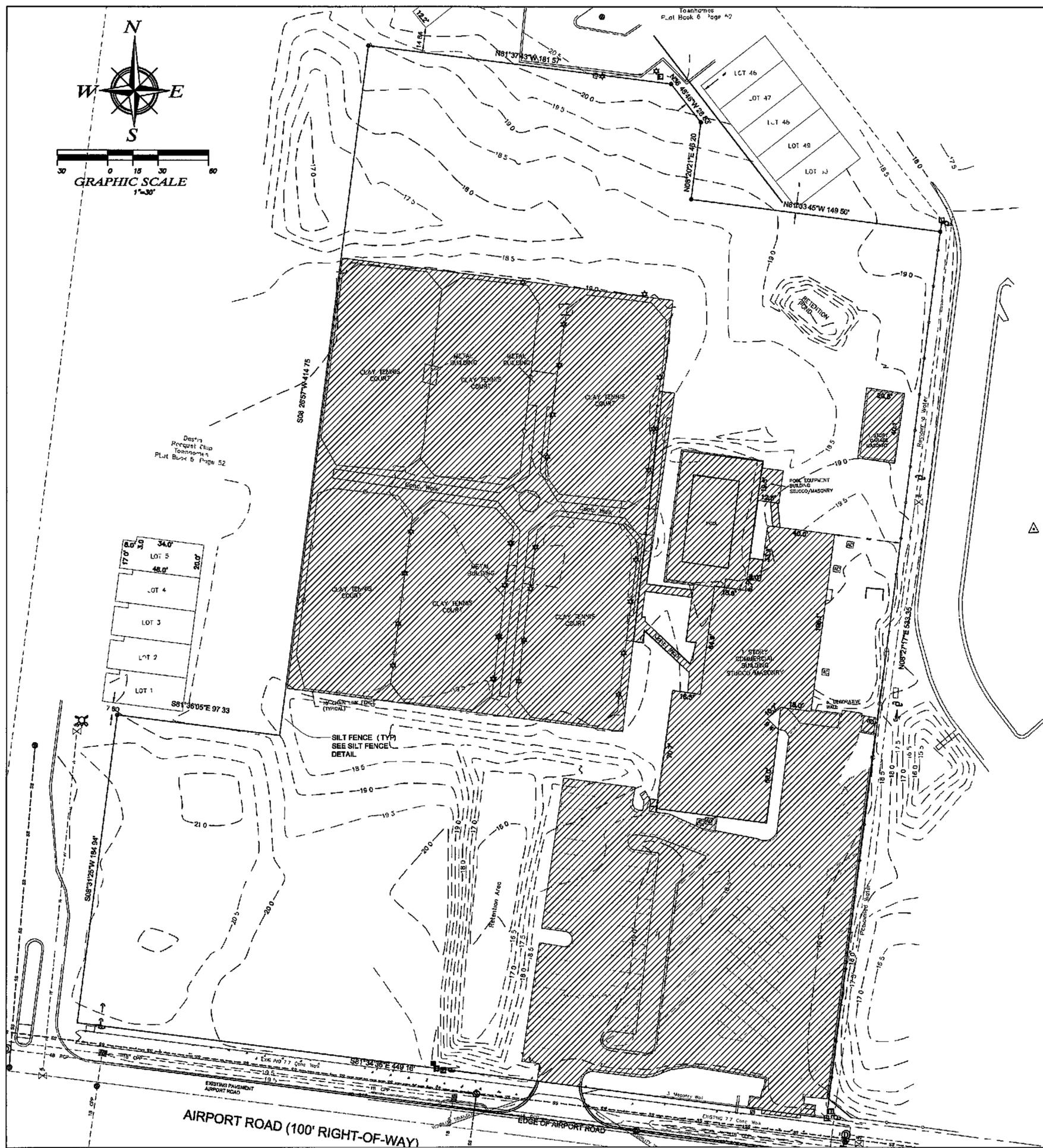
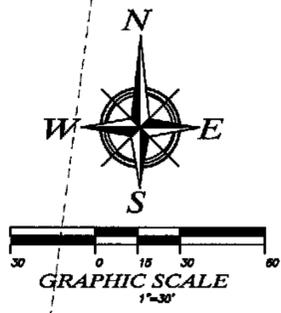
**DEVELOPMENT OWNER DATA**  
 VIRTUE ESTATES, L.L.C.  
 P O BOX 1551  
 DESTIN FL 32450  
 MANAGING MEMBER JOHN CUMMINCHAM



No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

EXISTING CONDITIONS	
DESTIN OAKS - D O AMENDMENT #1	
DESTIN, OKALOOSA COUNTY, FLORIDA	
<b>ECM</b> a complete engineering & construction management company	
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL jlamad@yahoo.com FAX (850) 654-2000	
JOHN H. ELAMAD P.E.	P.E. #68840 FBPR CA 3419
DRAWN BY BCB	DATE 06/08/2014
CHECKED BY JHE	DRAWING NO. 1
JOB NO.	SHEET 2 OF 18



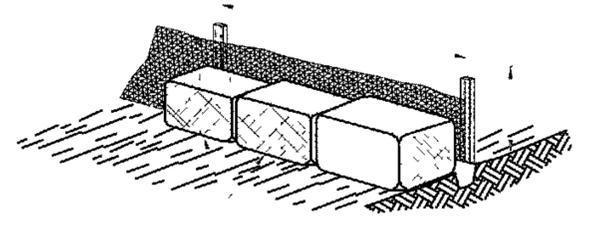
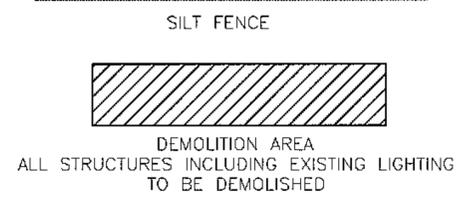


**DEMOLITION**

TENNIS COURT DEMO 51730 sqft	POOL BUILDING DEMO 251 sqft
COMMERCIAL BUILDING DEMO 10637 sqft	PARKING LOT DEMO 32570 sqft
POOL DEMO 1465 sqft	CONCRETE PATHWAY DEMO 4321 sqft
GARAGE DEMO 945 sqft	TOTAL=101919 sqft



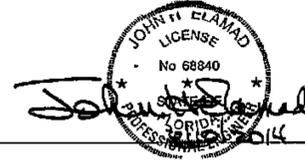
No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.



**SILT FENCE DETAIL**

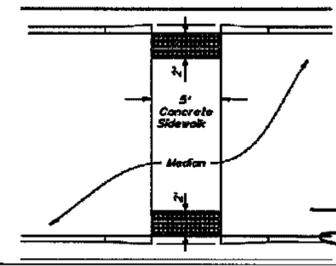
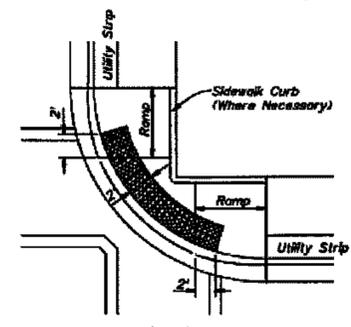
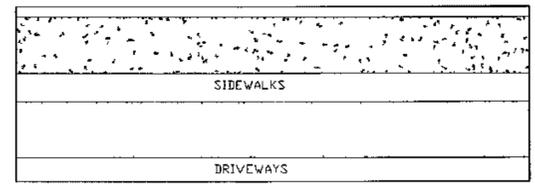
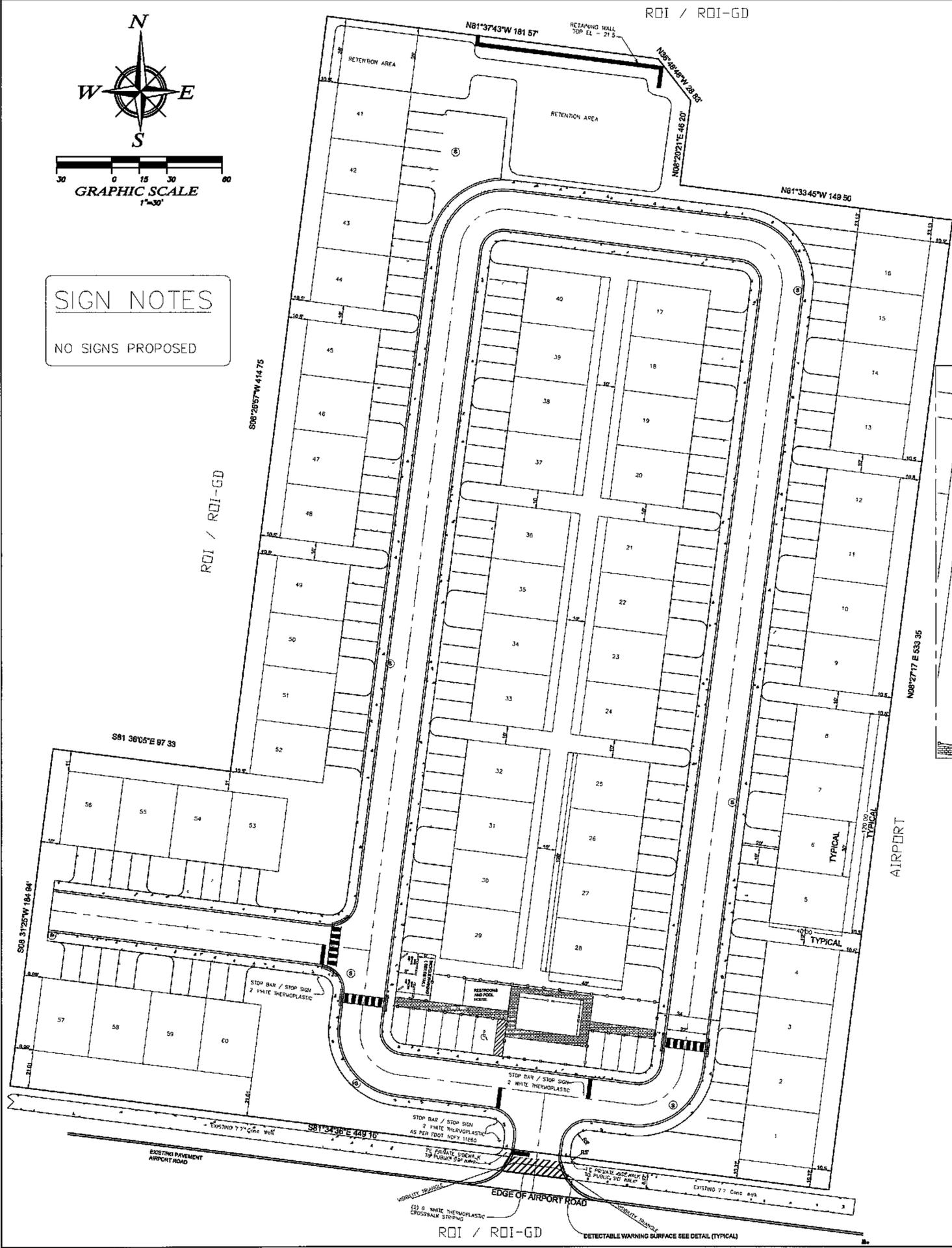
NTS  
SEE EROSION CONTROL PLAN FOR MORE INFORMATION ON SILT FENCE

<b>DEMOLITION PLAN</b>			
DESTIN OAKS - D O AMENDMENT #1			
DESTIN, OKALOOSA COUNTY, FLORIDA			
<i>ECM</i> a complete engineering & construction management company			
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL <a href="mailto:jelamad@yahoo.com">jelamad@yahoo.com</a> FAX (850) 654-2000			
JOHN H. ELAMAD P.E.	P.E. #68840	FBPR CA 8419	
DRAWN BY BCB	CHECKED BY JHE	DATE 06/08/2014	DRAWING NO 1
JOB NO		SHEET 3 OF 18	





**SIGN NOTES**  
NO SIGNS PROPOSED



**LEGAL DESCRIPTION**  
PARCEL ID # 00-23-22-0000-0001-0310  
BEG SW COR LOT 45 BLK A KELL-AIRE GARDENS SLY ALG RD 505.84 FT SE ALG AIRPORT RD 1312.5 FT TO BEG CONT ALG RD 508.91 FT N7 DEG E54.05 FT N38 DEG W418 FT 97 DEG W1044.14 FT TO BEG 1025-156 & 1087-627 EX DESTIN RACQUET CLUB 1/4

**AREA TABULATION**  
ACERAGE 218,808 SQ FT OR 5.023 ACRES  
PROJECT ACERAGE 217,798.63 SQ FT OR 5.00 ACRES  
DENSITY ALLOWED 12 UNITS PER ACRE  
PROJECT DENSITY 60 UNITS @ 12 UNITS PER ACRE  
PROJECT PARKING 2.5 SPACES PER UNITS (150 SPACES REQUIRED)

**AREA SUMMARY**

TOTAL AREA OF SITE	218,808 SQ FT OR 5.023 ACRES
TOTAL PROJECT AREA	217,798.63 SQ FT OR 5.00 ACRES
TOTAL EXISTING IMPERVIOUS AREA	83,928 SQ FT
TOTAL PROPOSED BUILDING AREA	72,400 SQ FT
TOTAL PROPOSED CONCRETE SIDEWALKS	14,229 SQ FT
TOTAL PROPOSED DRIVEWAY AREA	28,867 SQ FT
TOTAL PROPOSED ROAD AREA	31,757 SQ FT
TOTAL PROPOSED IMPERVIOUS AREA	143,080 SQ FT
TOTAL PROPOSED DEVELOPMENT IMPERVIOUS RATIO	68.13%
TOTAL PERMITTED IMPERVIOUS SURFACE RATIO	75.00%
TOTAL PROPOSED SITE DENSITY	12 UNITS PER ACRE
TOTAL PERMITTED SITE DENSITY	12 UNITS PER ACRE
TOTAL PROPOSED OPEN SPACE	145,398 SQ FT

**SITE DATA ZONING**  
FUTURE LAND USE  
SITE ROI  
NDRTH ROI  
SOUTH ROI  
EAST AIRPORT  
WEST ROI

**CURRENT LAND USE**  
SITE COMMERCIAL  
NORTH RESIDENTIAL  
SOUTH RESIDENTIAL  
EAST AIRPORT  
WEST RESIDENTIAL

**PARKING DATA**  
PERMANENT MULTIFAMILY ATTACHED (2.5 PER UNIT) 150 SPACES  
TOTAL REQUIRED SPACES 150 SPACES  
TOTAL PROPOSED SPACES 150 SPACES  
TOTAL PROPOSED ADA COMPLIANT 1 ADA POOL AREA PARKING  
TOTAL PROPOSED BICYCLE PARKING 16 (10") POOL AREA

**ROADWAYS AND ACCESS**  
ALL ROADS AND ACCESS DRIVEWAYS ARE PRIVATE

**SETBACK REQUIREMENTS LDC**  
FRONT BUILDING SETBACK 20 REQUIRED / 20 PROVIDED  
REAR BUILDING SETBACK 10 REQUIRED / 10 PROVIDED  
SIDE BUILDING SETBACKS 7 REQUIRED / 7 PROVIDED

**LANDSCAPE BUFFER REQUIREMENTS**  
RESIDENTIAL LANDSCAPE BUFFER 10 REQUIRED / 10 PROVIDED

**BUILDING HEIGHT LDC 5.00.06**  
BUILDING HEIGHT PERMITTED 3 STORIES / 35  
PROJECT BUILDING HEIGHT 2 STORY / 30

**FLOOD ZONE INFORMATION**  
NOTE THIS PARCEL IS LOCATED IN FLOOD ZONE  
X AS DETERMINED BY SCALE FROM  
FEMA FIRM 12131C05386 DATED SEPT 29 2010  
OKALOOSA COUNTY FLORIDA AS PROVIDED BY RARE EARTH SURVEYING

**DEVELOPMENT OWNER DATA**  
VIRIUS ESTATES LLC  
P. O. BOX 1551  
DESTIN FL 32450  
MANAGING MEMBER JOHN CUNNINGHAM

**NOTES**  
1) DESTIN OAKS IS A SINGLE PHASE CONSTRUCTION PROJECT THEREFORE CONSTRUCTION PHASE LINES ARE NON APPLICABLE.  
2) REFUSE COLLECTION WILL BE PROVIDED VIA CURBSIDE PICK-UP  
3) NO SIGNS PROPOSED

**APPROVED**  
JUN 10 2014  
City of Destin  
Technical Review Team

BOUNDARY	No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the ability to secure a Certificate of Occupancy.
SETBACK	
CENTERLINE	
RIGHT OF WAY	
CONTOUR	

**SITE PLAN**

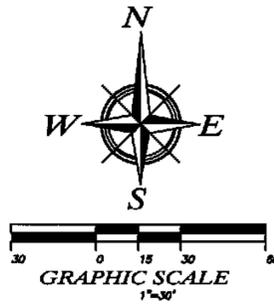
DESTIN OAKS - DO AMENDMENT #1  
DESTIN, OKALOOSA COUNTY, FLORIDA

**ECM** a complete engineering & construction management company  
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR)  
DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP)  
E-MAIL jlamad@yahoo.com FAX (850) 654-2000

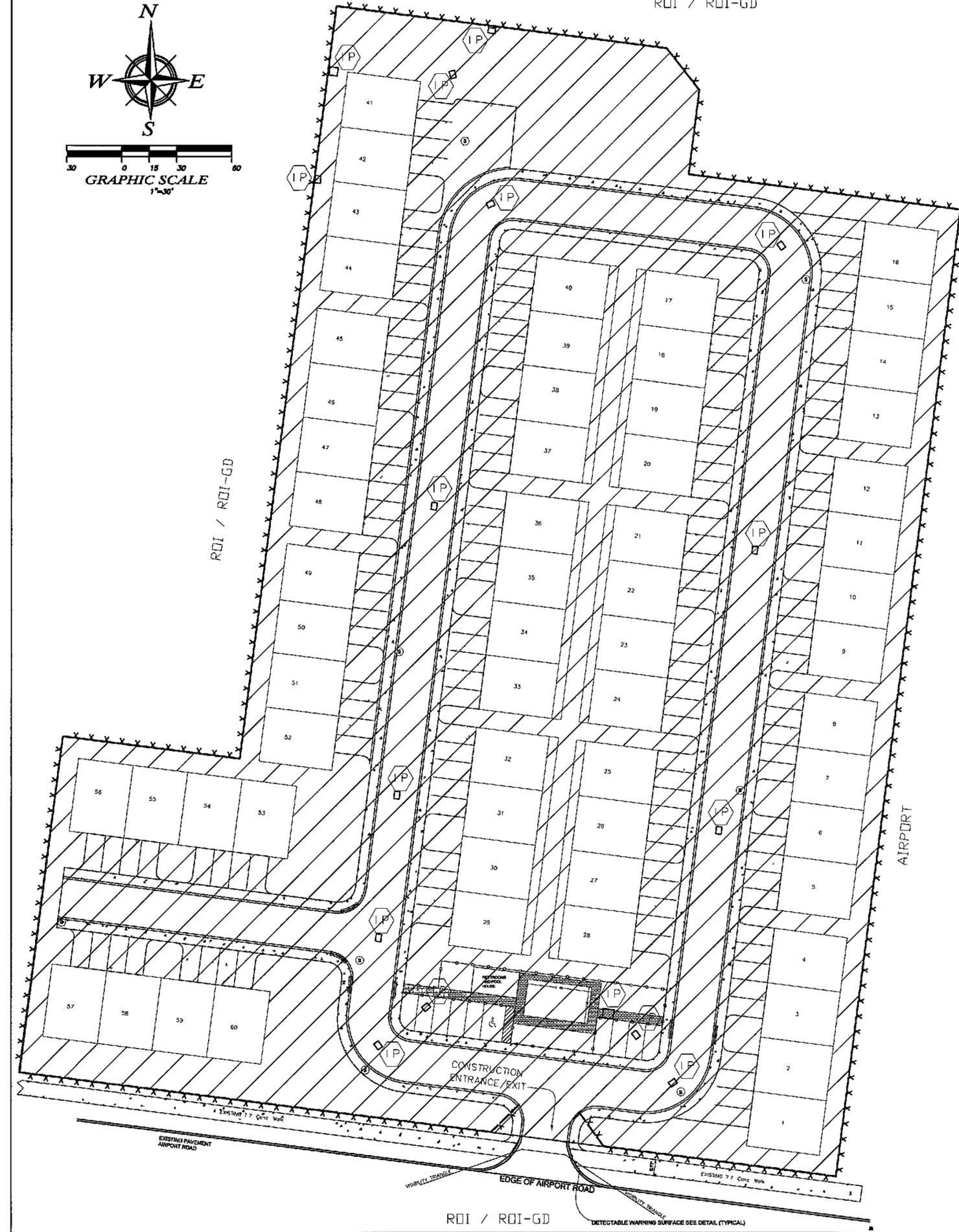
JOHN H. ELAMAD P.E. P.E. #68840 FBPR CA 8419

DRAWN BY BCB DATE 06/08/2014  
CHECKED BY JHE DRAWING NO 1  
JOB NO SHEET 4 OF 18

JOHN H. ELAMAD  
LICENSE No 68840  
STATE OF FLORIDA  
REGISTERED PROFESSIONAL ENGINEER



ROI / ROI-GD



CLEANING OF ALL PAVEMENT AREAS SHALL BE ACCOMPLISHED AS REQUIRED TO PREVENT TRACKING OF SEDIMENT ON TO ROAD WAY BY CONSTRUCTION VEHICLES

EROSION CONTROL DEVICES SUCH AS STAKED HAY BALES AND SILT FENCING MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION

NO EROSION OR SEDIMENTATION SHALL LEAVE THE SITE

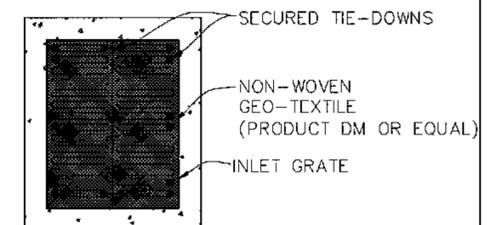
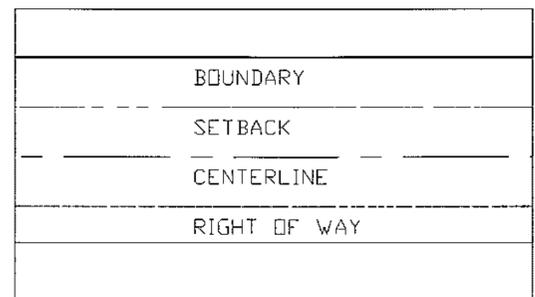
STAKED HAY BALES AND SILT FENCES SHALL BE PLACED AROUND ALL INLETS AND MANHOLES TO PREVENT THE INTRUSION OF SEDIMENTS

CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF SITE WORK CONSTRUCTION

CONTRACTOR SHALL IMMEDIATELY REPAIR EROSION CONTROL DEVICES SHOULD THEY BECOME DAMAGED

THE STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN PERPETUITY BY THE HOMEOWNERS ASSOCIATION

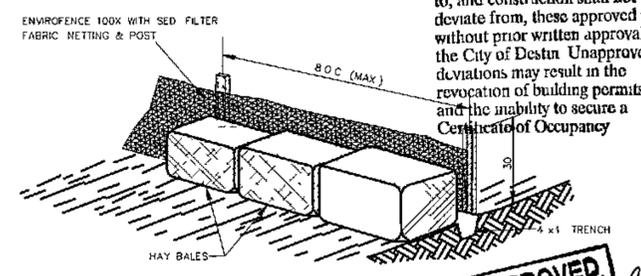
ALL DISTURBED AREAS ARE TO BE PERMANENTLY SODDED



NON-WOVEN GEOTEXTILE WILL BE WRAPPED AROUND AND SECURED TO ALL GRATES DURING CONSTRUCTION FOR PREVENTION OF EXCESS SEDIMENTS ENTERING THE STORMWATER SYSTEM

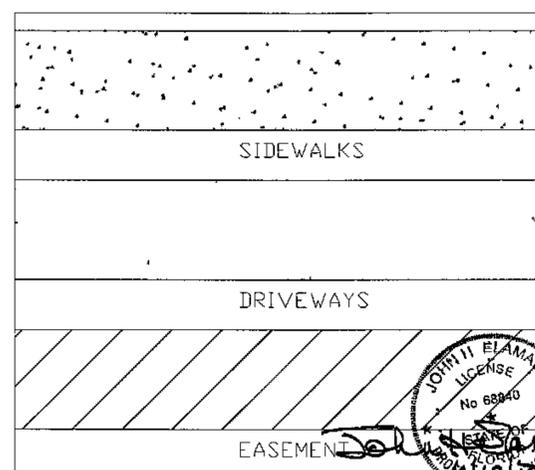


**INLET PROTECTION DETAIL**



No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

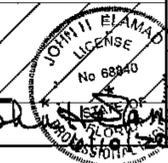
**SILT FENCE DETAIL**



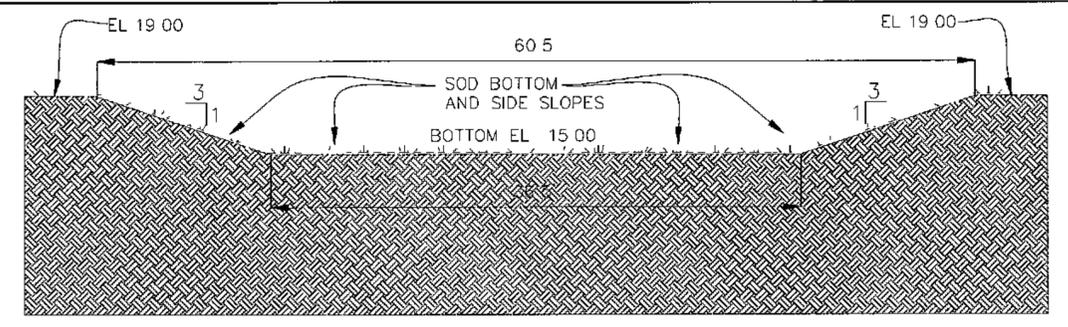
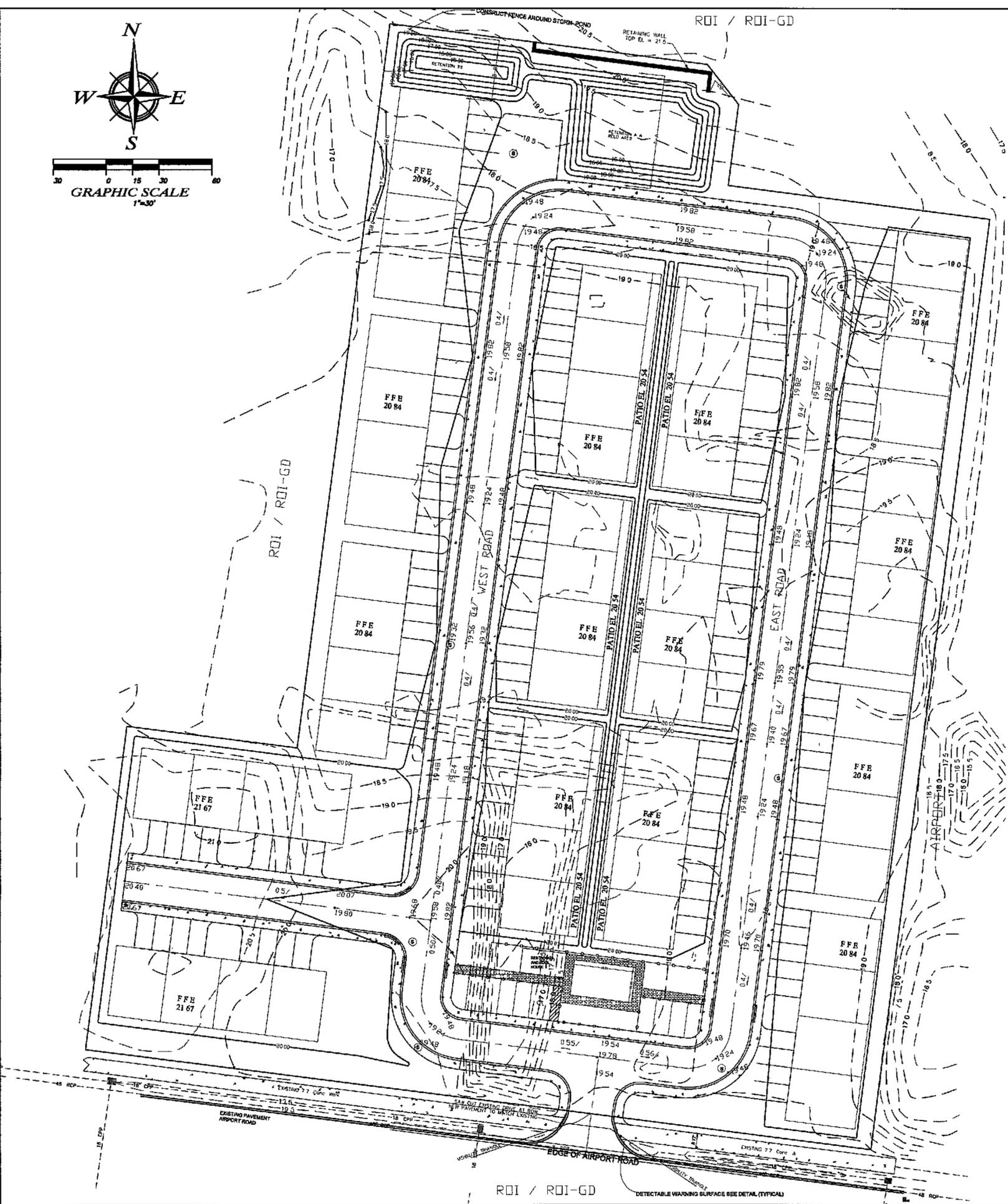
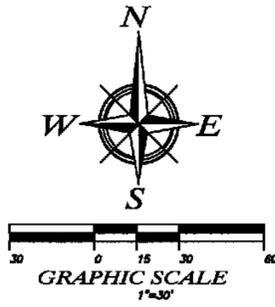
**EASEMENT/EROSION CONTROL PLAN**

DESTIN OAKS - D.O AMENDMENT #1  
DESTIN, OKALOOSA COUNTY, FLORIDA

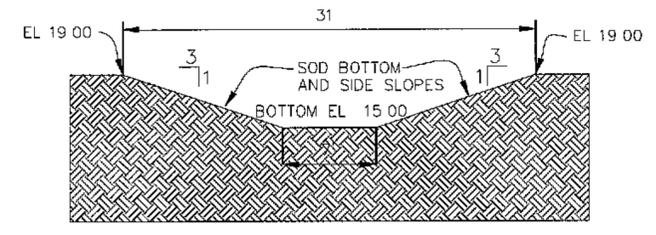
**ECM** a complete engineering & construction management company  
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR)  
DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP)  
E-MAIL jelamad@yahoo.com FAX (850) 654-2000



JOHN H. ELAMAD P.E. P.E. #68840 FBPRCA 8419	DATE 06/08/2014
DRAWN BY BCB	DRAWING NO 1
CHECKED BY JHE	SHEET 5 OF 18



**A-A**  
TYPICAL POND DETAIL



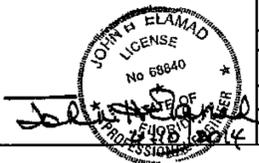
**B-B**  
TYPICAL POND DETAIL

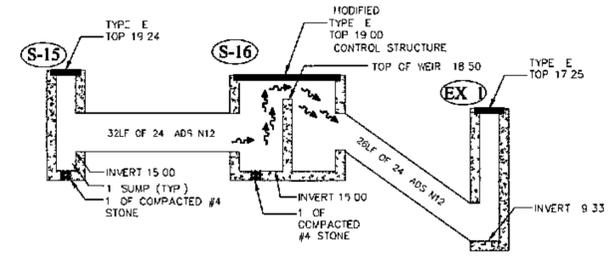
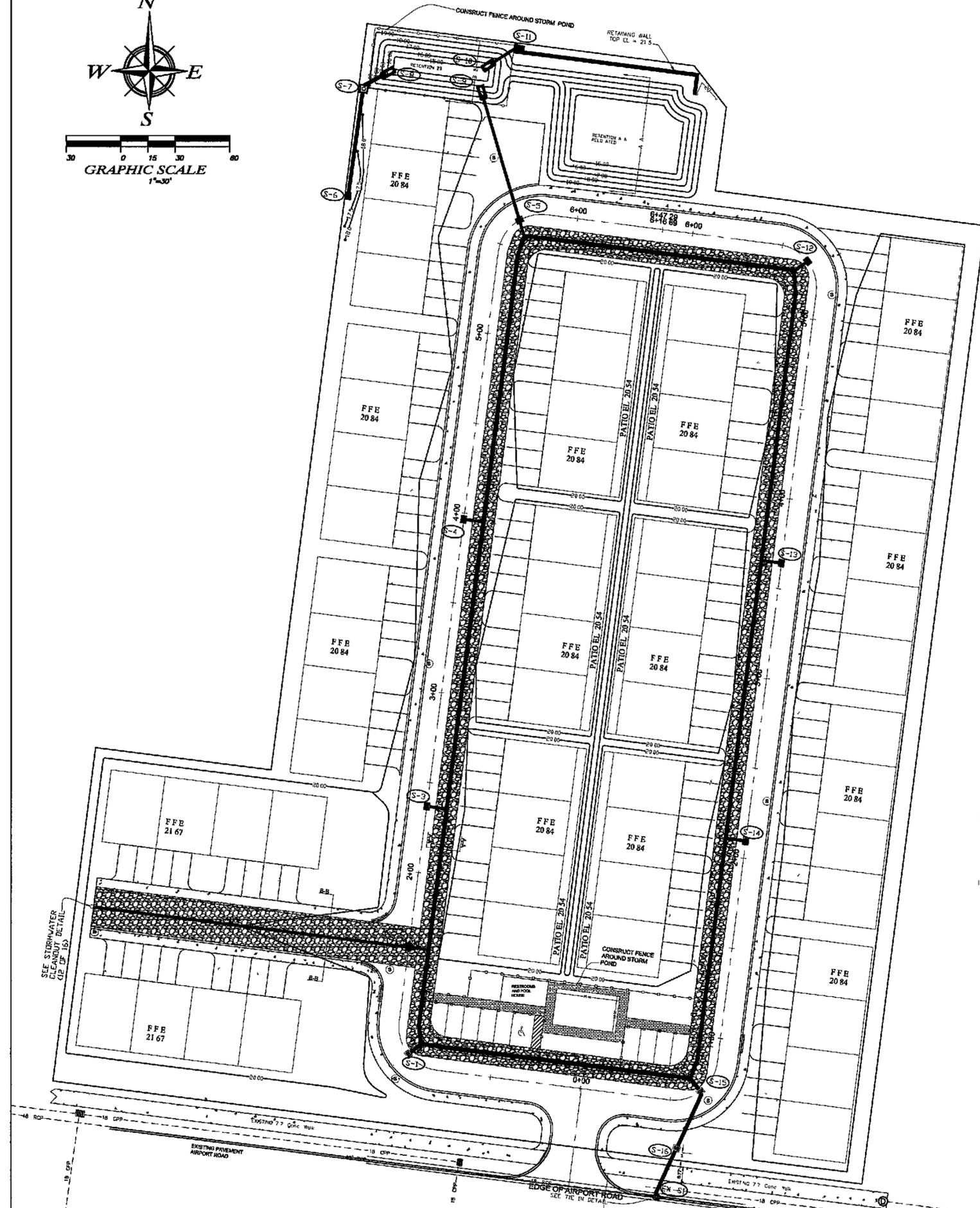
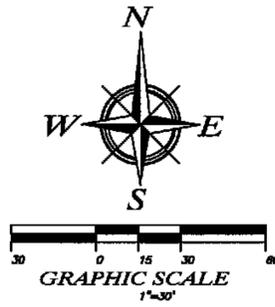


No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

TYPICAL SPOT ELEVATIONS	19.30
BOUNDARY	---
SETBACK	---
CENTERLINE	---
RIGHT OF WAY	---
CONTOUR	---

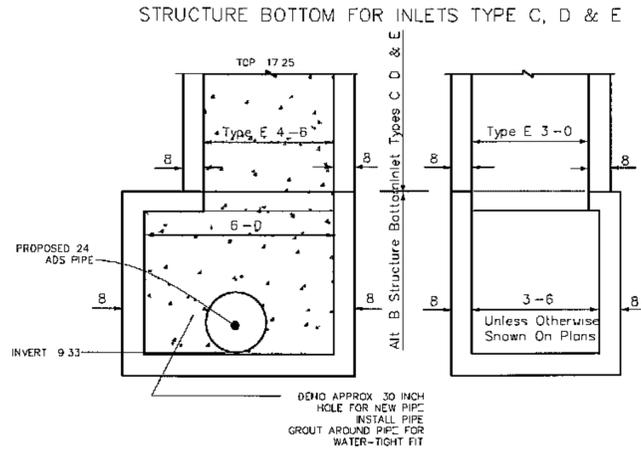
<b>GRADING PLAN</b>	
DESTIN OAKS - D O AMENDMENT #1	
DESTIN, OKALOOSA COUNTY, FLORIDA	
<b>ECM</b> a complete engineering & construction management company	
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL <a href="mailto:jelamad@yahoo.com">jelamad@yahoo.com</a> FAX (850) 654-2000	
JOHN H. ELAMAD, P.E.	P.E. #68840 FBPR CA 8419
DRAWN BY BCB	DATE 06/08/2014
CHECKED BY JHE	DRAWING NO 1
JOB NO	SHEET 6 OF 18



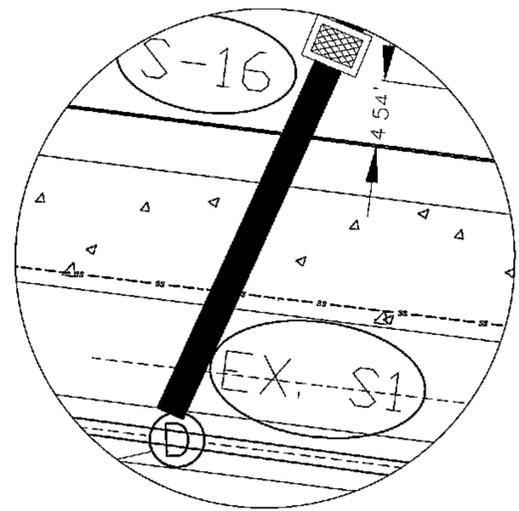


CONTROL STRUCTURE DETAIL

TIE IN DETAIL



DETAIL FOR 24" TIE IN TO EXISTING INLET TO 48" PIPE



CONTROL STRUCTURE LOCATION

Structure Number	Description	FDOT Index	Top Elev	Invert Elev
S-1	Type E	232	19 24	15 00 Pipe, 13 00 Inlet
S-2	Type E	272	19 58	15 00 Pipe, 13 00 Inlet
S-3	Type E	232	19 24	15 00 Pipe, 13 00 Inlet
S-4	Type E	232	19 24	15 00 Pipe, 13 00 Inlet
S-5	Type E	232	19 24	15 00 Pipe, 13 00 Inlet
S-6	Type E	232	17 25	15 00 Pipe, 13 00 Inlet
S-7	Type E	232	19 00	15 00 Pipe, 13 00 Inlet
S-8	MES	272		15 00 Pipe
S-9	MES	272		15 00 Pipe
S-10	MES	272		15 00 Pipe
S-11	Type E	232	19 50	15 00 Pipe, 13 00 Inlet
S-12	Type E	232	19 24	15 00 Pipe, 13 00 Inlet
S-13	Type E	232	19 24	15 00 Pipe, 13 00 Inlet
S-14	Type E	232	19 24	15 00 Pipe, 13 00 Inlet
S-15	Type E	232	19 24	15 00 Pipe, 13 00 Inlet
S-16	Type E	232	19 00	15 00 Pipe, 13 00 Inlet
EX 1	TYPE E TIE-IN	232	17 25	9 33 PIPE



No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

**DRAINAGE PLAN**

**DESTIN OAKS - D O AMENDMENT #1**

DESTIN, OKALOOSA COUNTY, FLORIDA

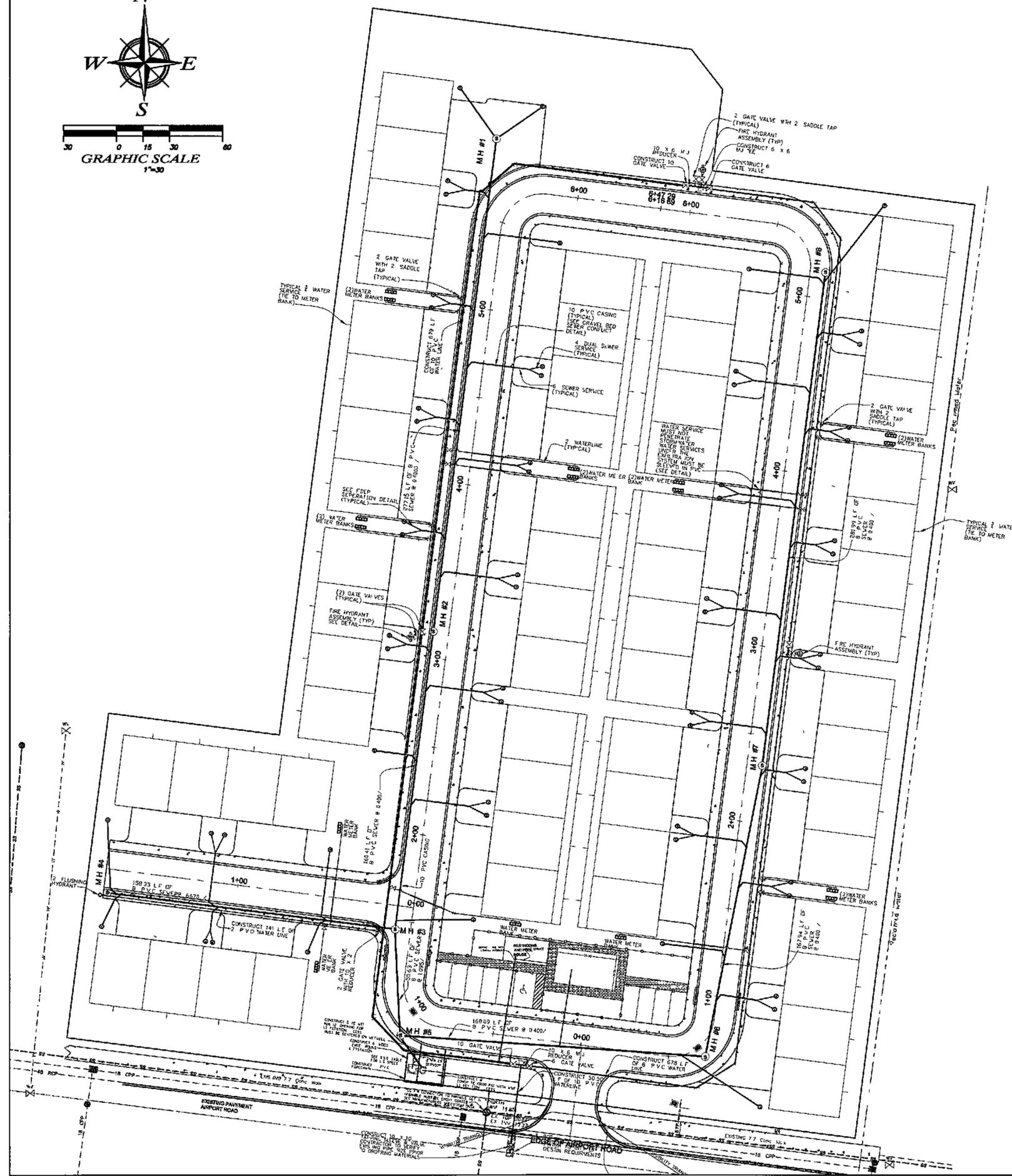
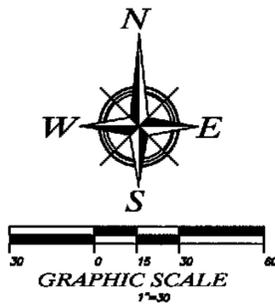
*a complete engineering & construction management company*

**ECM**

4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR)  
 DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP)  
 E-MAIL jalamad@yahoo.com FAX (850) 854-2000

JOHN H. ELAMAD P.E. No. 88840	P.E. #68840	FBR CA 8419
DRAWN BY BCB	DATE 06/08/2014	
CHECKED BY JHE	DRAWING NO 1	
	SHEET 7 OF 18	

NOTE. ANY DAMAGE TO EITHER THE AIRPORT ROAD OR QUAIL LAKE SYSTEM WILL BE REQUIRED TO BE REPAIRED BY THE PROJECT'S CONTRACTOR AND THE CITY SHALL INSPECT THE CONNECTION AT AIRPORT RD PRIOR TO COVERING.



MH #1  
TOP ELEV = 19 32  
INVERT EAST=14 00  
OFFSET WEST 8 80  
OFFSET NORTH 96 74

MH #2  
TOP ELEV =19 32  
INVERT NORTH=12 89  
INVERT SOUTH=12 79  
STA# 3+15 00  
OFFSET 8 80

MH #3  
TOP ELEV =19 34  
INVERT NORTH=12 39  
INVERT SOUTH=12 29  
INVERT WEST=12 39  
STA# 1+50 00  
OFFSET 8 70

MH #4  
TOP ELEV =20 00  
INVERT EAST=13 30  
STA# 1+70 30  
OFFSET 6 3

MH #5  
TOP ELEV =19 78  
INVERT NORTH=11 57  
INVERT EAST=11 57  
INVERT SOUTH=11 47  
STA# 0+86 60  
OFFSET 8 36

MH #6  
TOP ELEV =19 35  
INVERT NORTH=12 31  
INVERT WEST=12 21  
STA# 0+58 28  
OFFSET 13 36

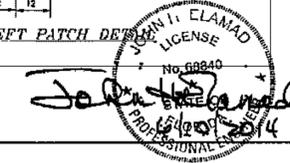
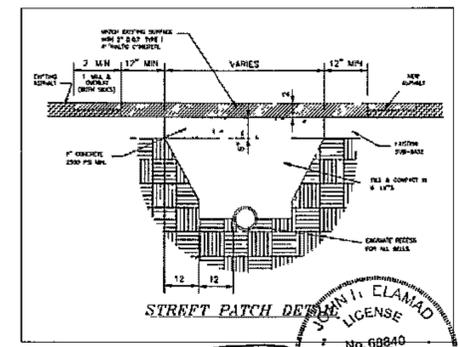
MH #7  
TOP ELEV =19 36  
INVERT NORTH=13 05  
INVERT SOUTH=12 95  
STA 2+32 84  
OFFSET 8 74

MH #8  
TOP ELEV =19 32  
INVERT SOUTH=14 16  
STA 5+14 68  
OFFSET 8 74

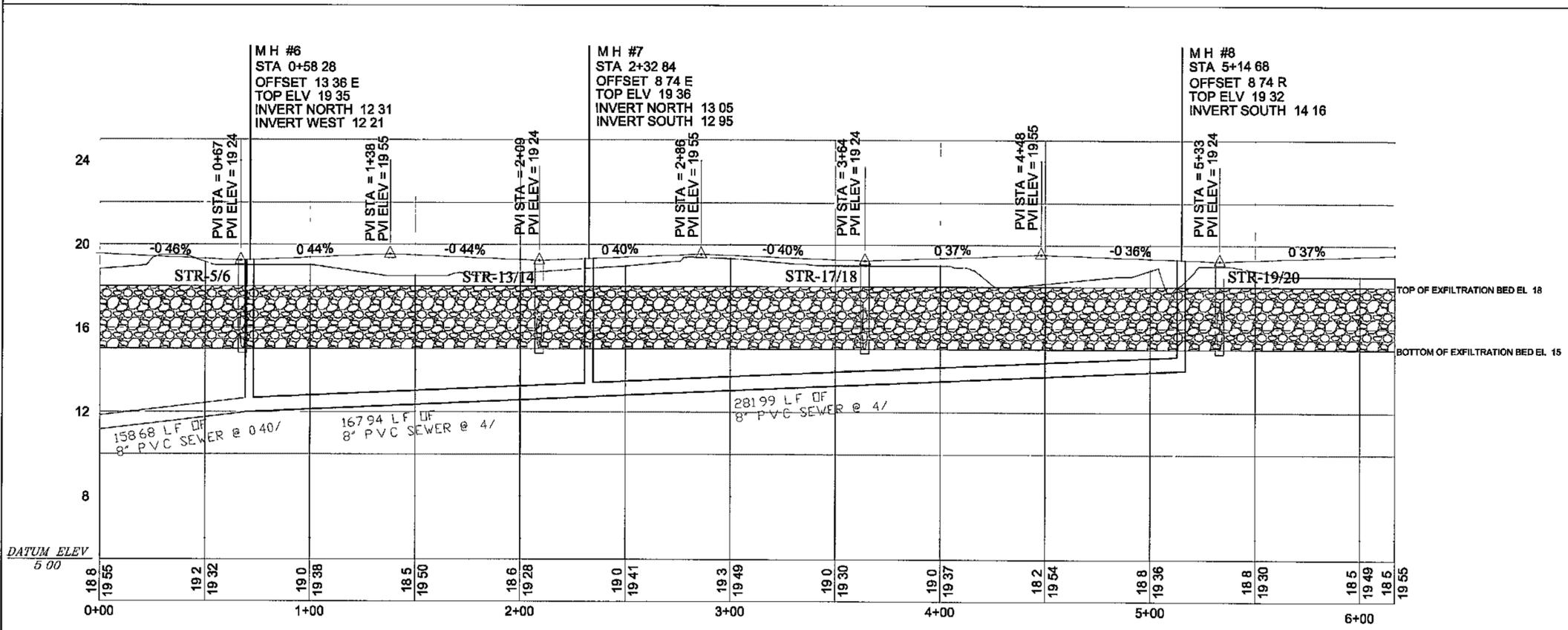
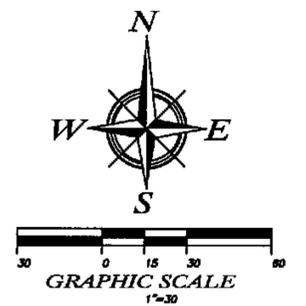
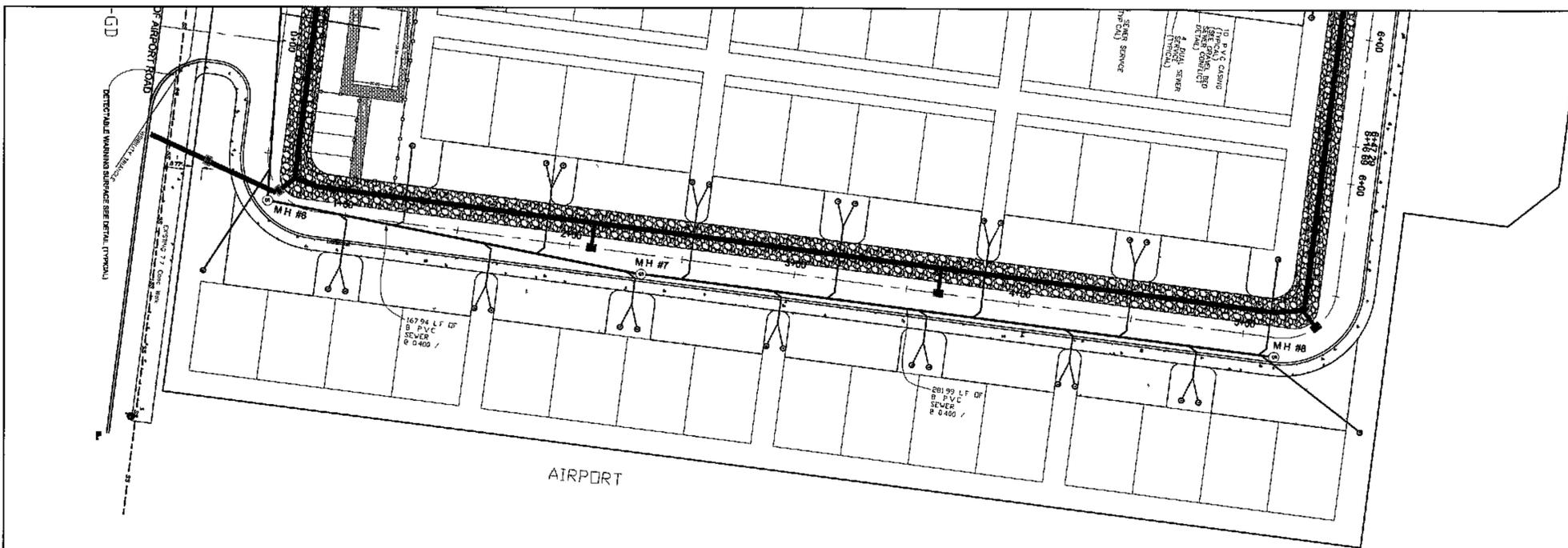
LIFTSTATION  
INVERT IN 11 00  
ALARM 10 50  
LAG ON 10 00  
LEAD 9 50  
LAG 8 00  
INV 6 00  
SEE LIFTSTATION  
REPORT FOR MORE  
DETAILS



No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.



<b>UTILITY PLAN</b>	
DESTIN OAKS - D O AMENDMENT #1	
DESTIN, OKALOOSA COUNTY, FLORIDA	
<b>ECM</b> a complete engineering & construction management company	
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL jlamad@yahoo.com FAX (850) 654-2000	
JOHN H. ELAMAD P.E. DRAWN BY BCB CHECKED BY JHE JOB NO	P.E. #68840 DATE 06/08/2014 DRAWING NO 1 SHEET 8 OF 18



**APPROVED**  
 JUN 10 2014  
 City of Destin  
 Technical Review Team

No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

**PLAN & PROFILE**

**DESTIN OAKS - D O AMENDMENT #1**  
 DESTIN, OKALOOSA COUNTY, FLORIDA

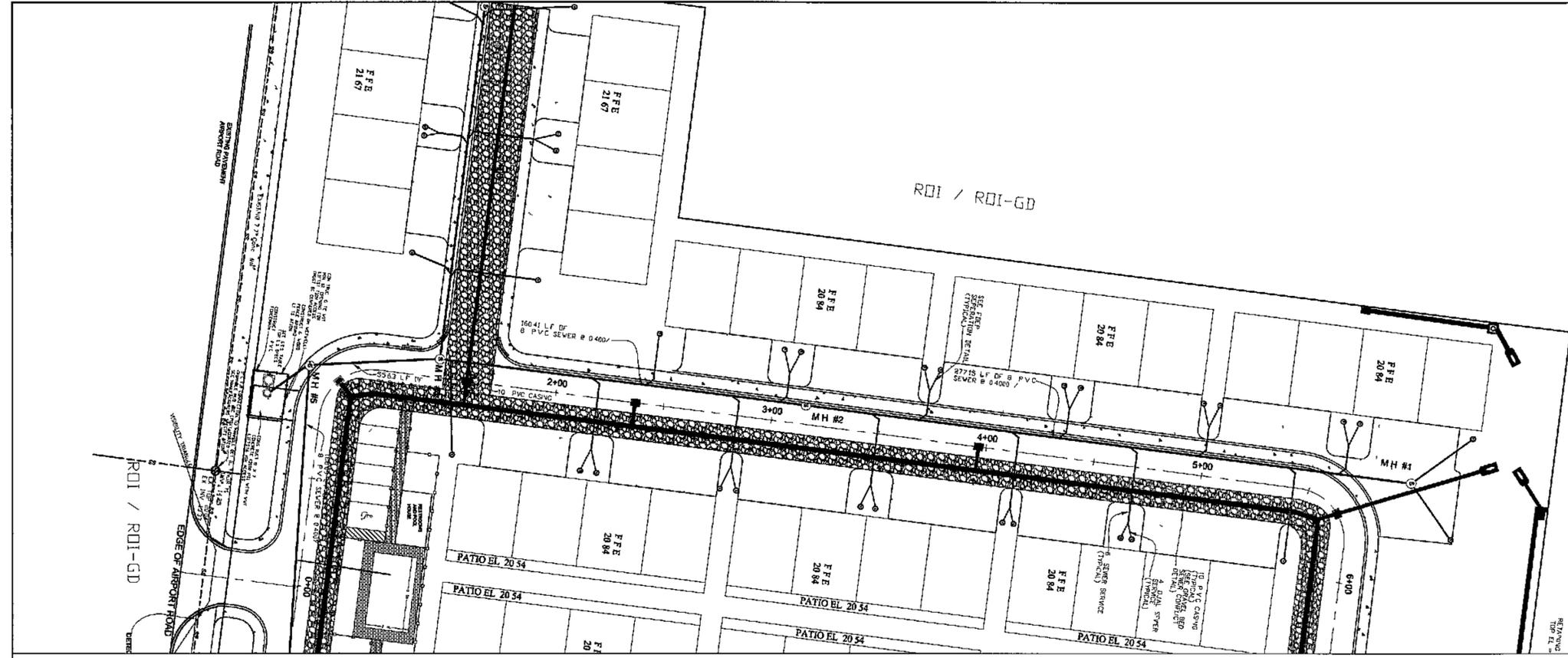
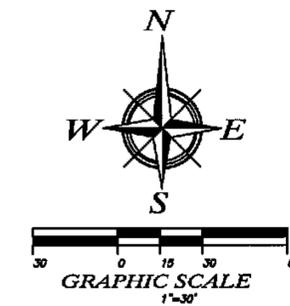
**ECM** a complete engineering & construction management company  
 4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR)  
 DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP)  
 E-MAIL jlamad@yahoo.com FAX (850) 654-2000

JOHN H. ELAMAD P.E. P.E. #68849	FBPRCA 8419
DRAWN BY BCB	DATE 06/08/2014
CHECKED BY JHE	DRAWING NO 1
JOB NO	SHEET 9 OF 18

**EAST ROAD**

SCALE: V= 1" = 3'  
 H= 1" = 30'

JOHN H. ELAMAD  
 LICENSE No. 68849  
 PROFESSIONAL ENGINEER

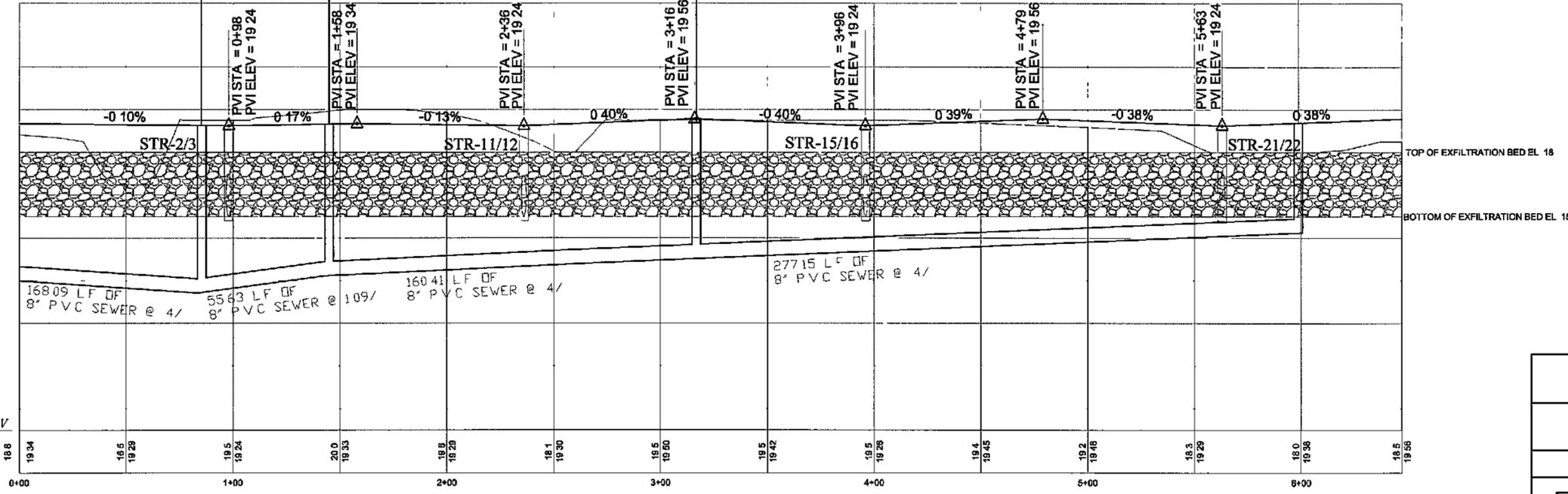


MH #5  
 STA 0+86.60  
 OFFSET 8.36  
 TOP ELV 19.50  
 INVERT NORTH 11.57  
 INVERT EAST 11.57  
 INVERT SOUTH 11.47

MH #3  
 STA 1+45.00  
 OFFSET 8.67  
 TOP ELV 19.88  
 INVERT NORTH 12.39  
 INVERT WEST 12.39

MH #2  
 STA 3+15  
 OFFSET 8.80  
 TOP ELV 19.32  
 INVERT NORTH 12.89  
 INVERT SOUTH 12.79

MH #1  
 OFFSET W 8.80  
 OFFSET N 96.74  
 TOP ELV 19.32  
 INVERT SOUTH 14.00



**APPROVED**  
 JUN 10 2014  
 City of Destin  
 Technical Review Team

No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

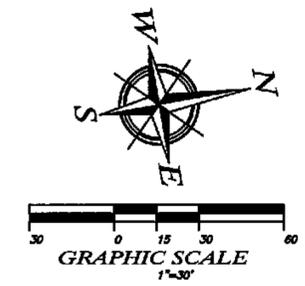
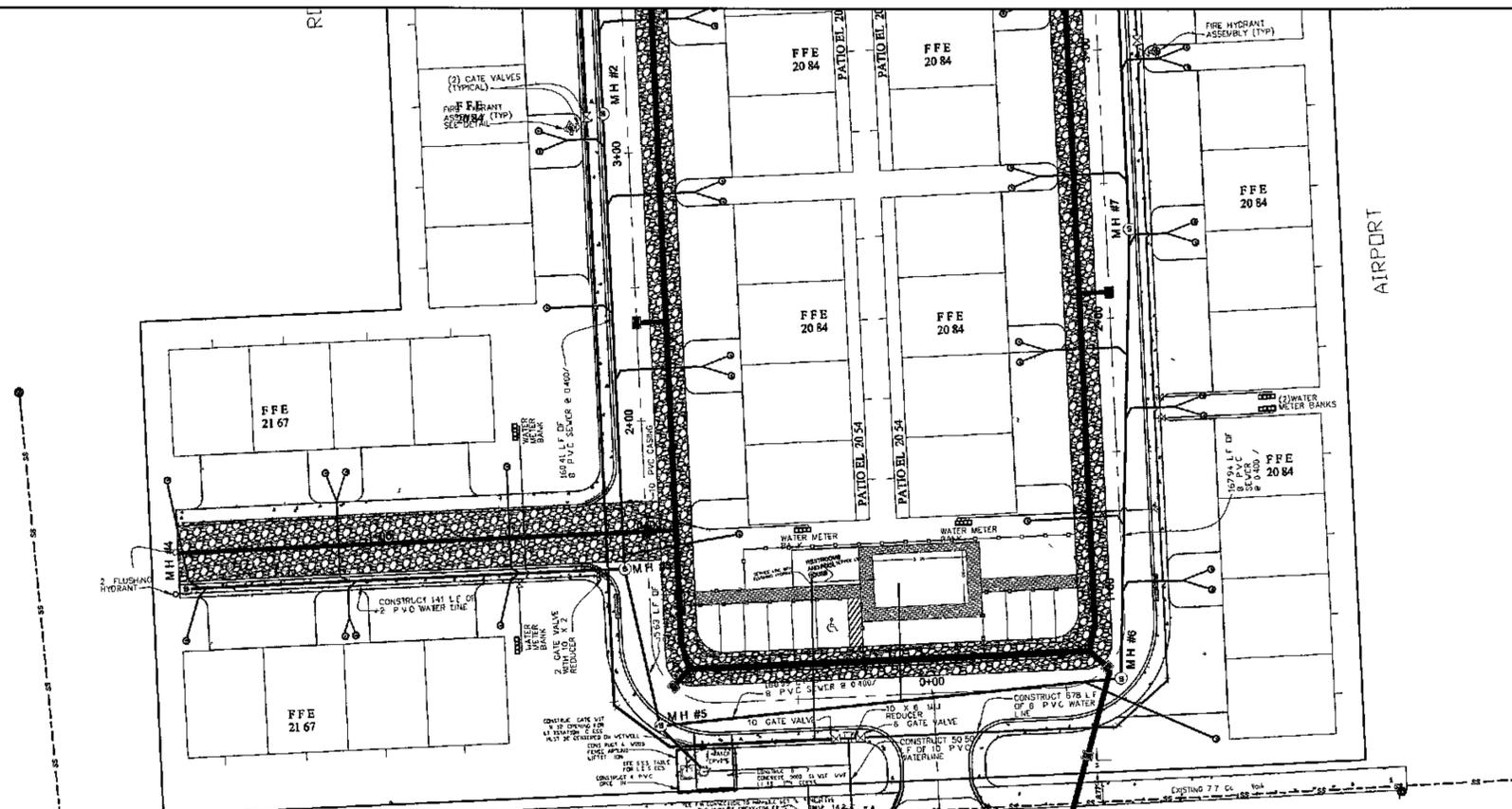
DATUM ELEV  
 5.00

# WEST ROAD

SCALE: V= 1" = 3'  
 H= 1" = 30'

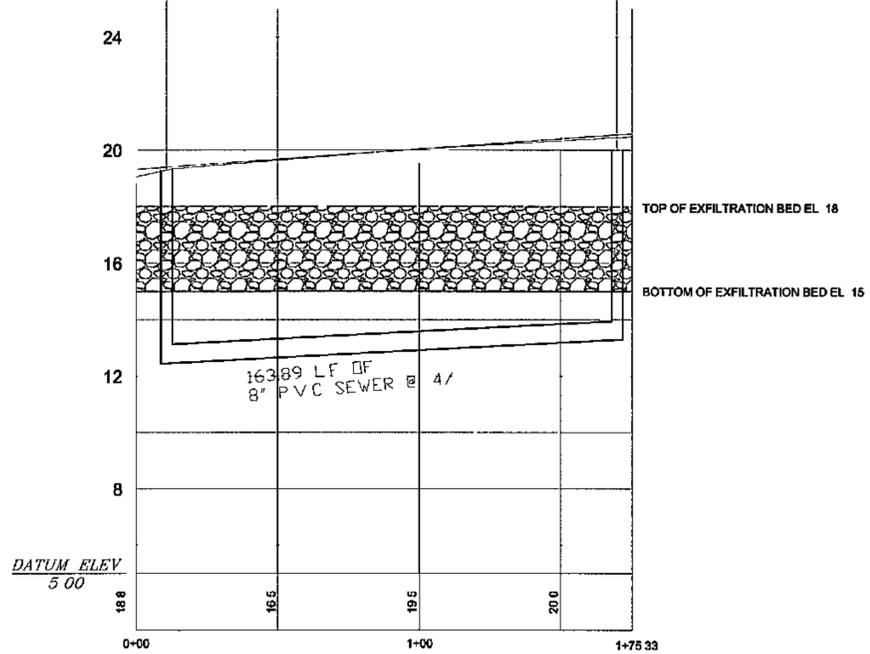


PLAN & PROFILE	
DESTIN OAKS - DO AMENDMENT #1	
DESTIN, OKALOOSA COUNTY, FLORIDA	
<b>ECM</b> a complete engineering & construction management company	
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL <a href="mailto:jelamad@yahoo.com">jelamad@yahoo.com</a> FAX (850) 654-2000	
JOHN H. ELAMAD P.E. <small>DRIVEN BY BCB    CHECKED BY JHE</small>	P.E. #68840 <small>DATE 06/08/2014    DRAWING NO 1    SHEET 10 OF 18</small>



MH #3  
 TOP ELEV = 19 34  
 INVERT NORTH = 12 39  
 INVERT SOUTH = 12 29  
 INVERT WEST = 12 39  
 STA# 0+8 67  
 OFFSET 13 56

MH #4  
 TOP ELEV = 20 00  
 INVERT EAST = 13 30  
 STA# 1+70 30  
 OFFSET 6 3

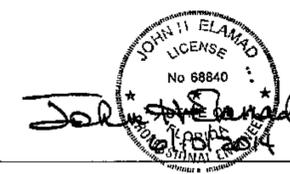


**SIDE STREET** SCALE: V = 1" = 3'  
 H = 1" = 30'

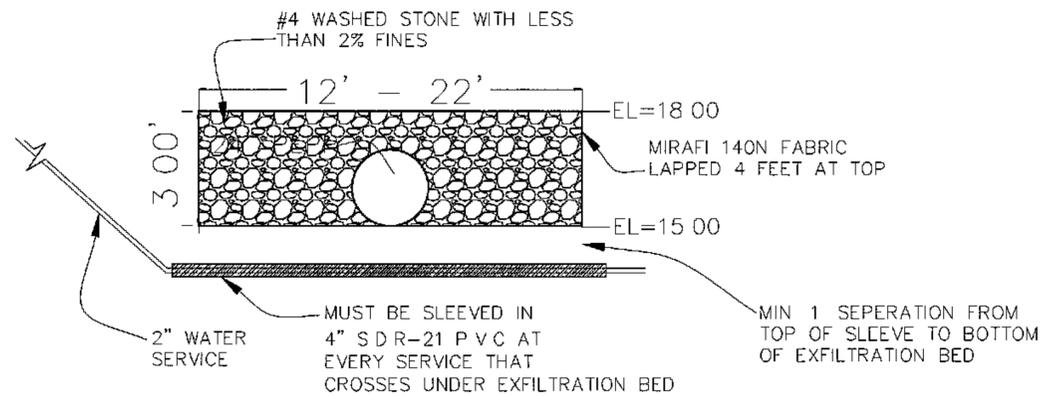


No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

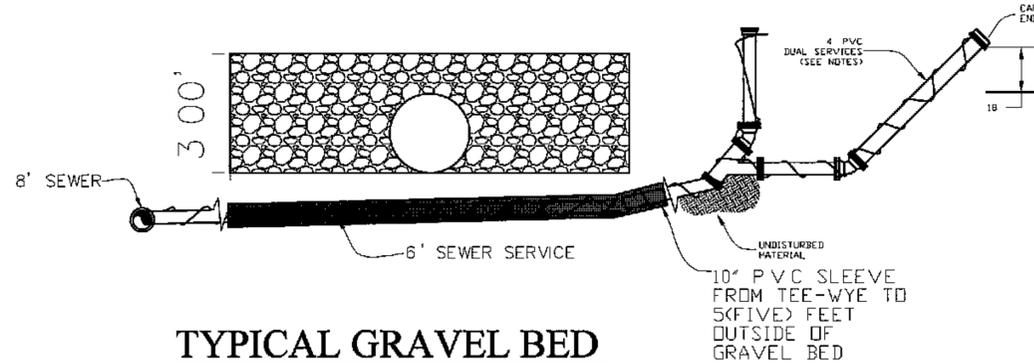
PLAN & PROFILE SIDE STREET	
DESTIN OAKS - D O AMENDMENT #1	
DESTIN, OKALOOSA COUNTY, FLORIDA	
<b>ECM</b> a complete engineering & construction management company	
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL jlamad@yahoo.com FAX (850) 654-2000	
JOHN H. ELAMAD P.E. No. 68840	P.E. #68840 FBPRCA 8419
DRAWN BY BCB	DATE 06/08/2014
CHECKED BY JHE	DRAWING NO. 1
JOB NO.	SHEET 11 OF 18



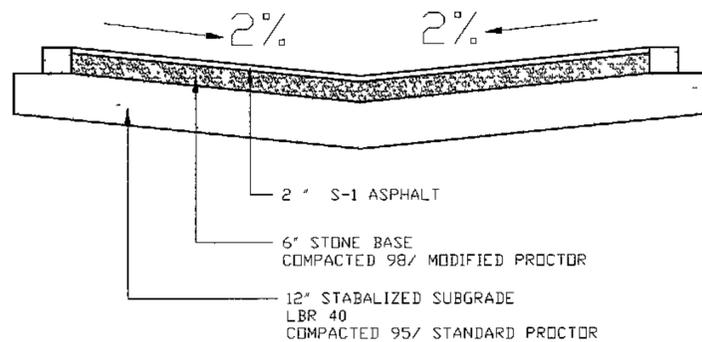




**WATER SERVICE DETAIL**

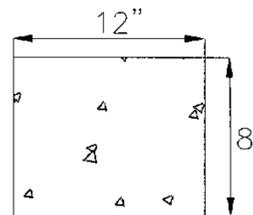


**TYPICAL GRAVEL BED SEWER CONFLICT**

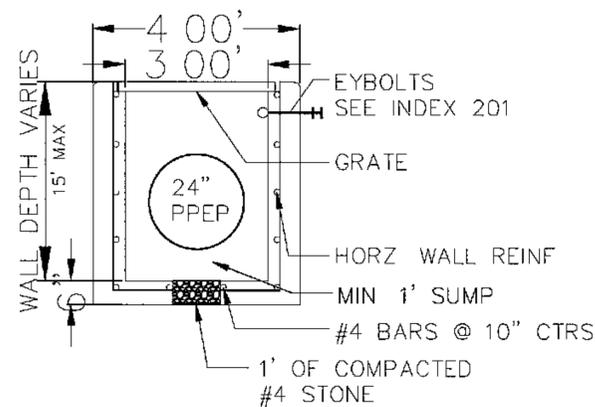


THE ABOVE MEETS CITY DESTIN STREET REQUIREMENTS SEE LDC 803.00 DESIGN STANDARDS FOR NEW AND RECONSTRUCTED ROADS AND STREETS

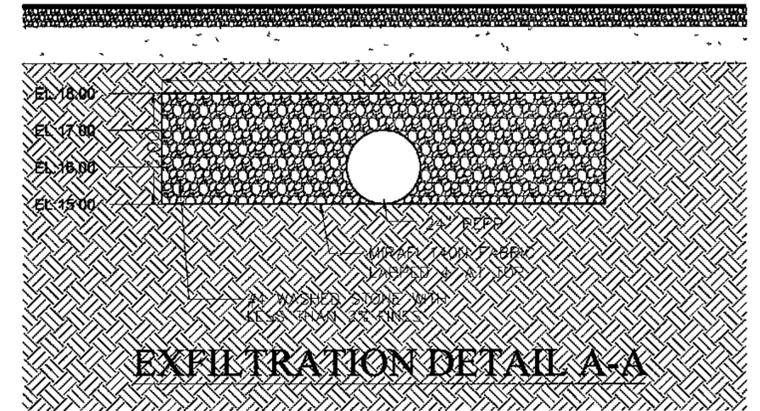
**TYPICAL ROADWAY SECTION**



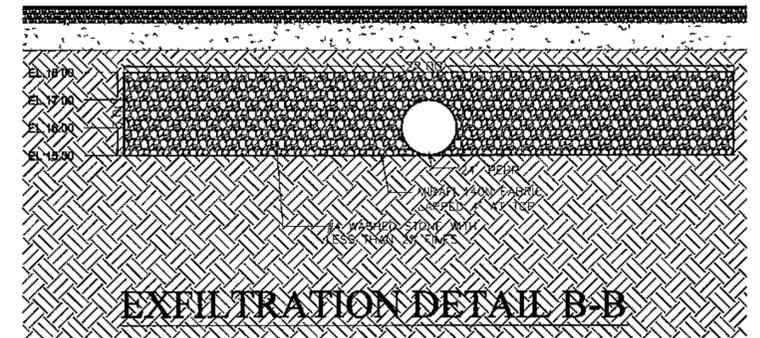
**TYPICAL RIBBON CURB SECTION**



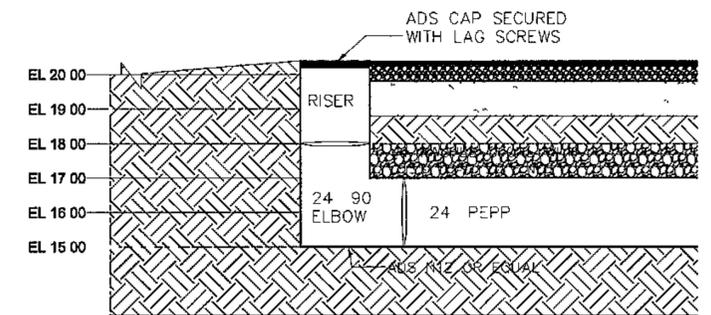
**TYPE "E" INLET DETAIL (EXFILTRATION INLETS)**



**EXFILTRATION DETAIL A-A**



**EXFILTRATION DETAIL B-B**



**STORMWATER CLEANOUT DETAIL**



No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

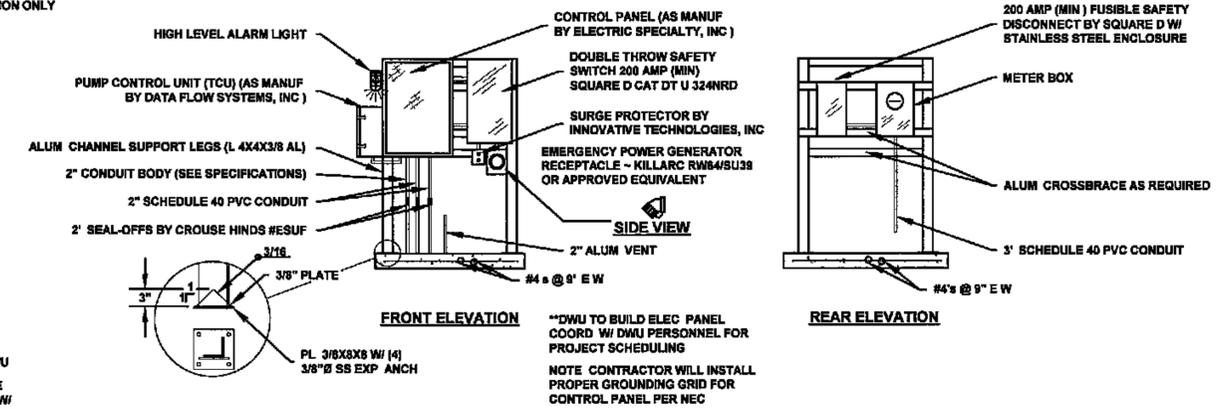
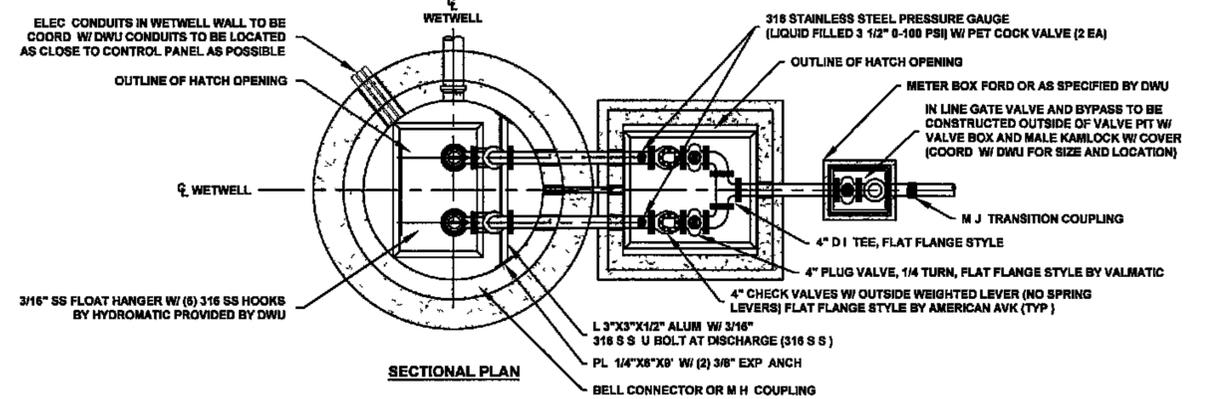
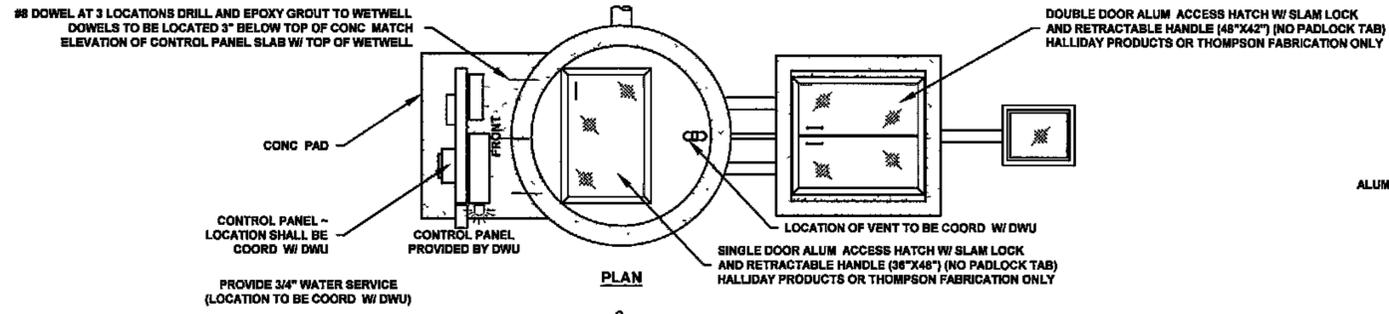


SURFACE COURSE - TYPE S-1 ASPHALTIC CONCRETE (2 MIN COMPACTED THICKNESS)  
 BASE COURSE - GRADED AGGREGATE BASE FDOT 204  
 SUBGRADE - TYPE-B STABILIZATION (MIN LPR = 40)

THE ABOVE MEETS CITY DESTIN STREET REQUIREMENTS SEE LDC 803.00 DESIGN STANDARDS FOR RECONSTRUCTED ROADS AND STREETS

**TYPICAL PAVEMENT DETAIL**

DETAILS- NOT TO SCALE	
DESTIN OAKS - D.O AMENDMENT #1	
DESTIN, OKALOOSA COUNTY, FLORIDA	
<b>ECM</b> a complete engineering & construction management company	
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL <a href="mailto:jelamad@yahoo.com">jelamad@yahoo.com</a> FAX (850) 654-2000	
JOHN H. ELAMAD P.E. <small>P.E. #68840</small>	FBPRCA 3419
DRAWN BY BCB	DATE 06/08/2014
CHECKED BY JHE	DRAWING NO 1
JOB NO	SHEET 13 OF 18



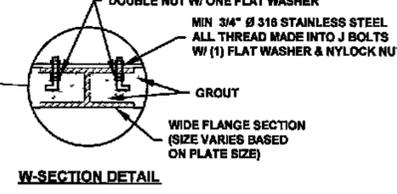
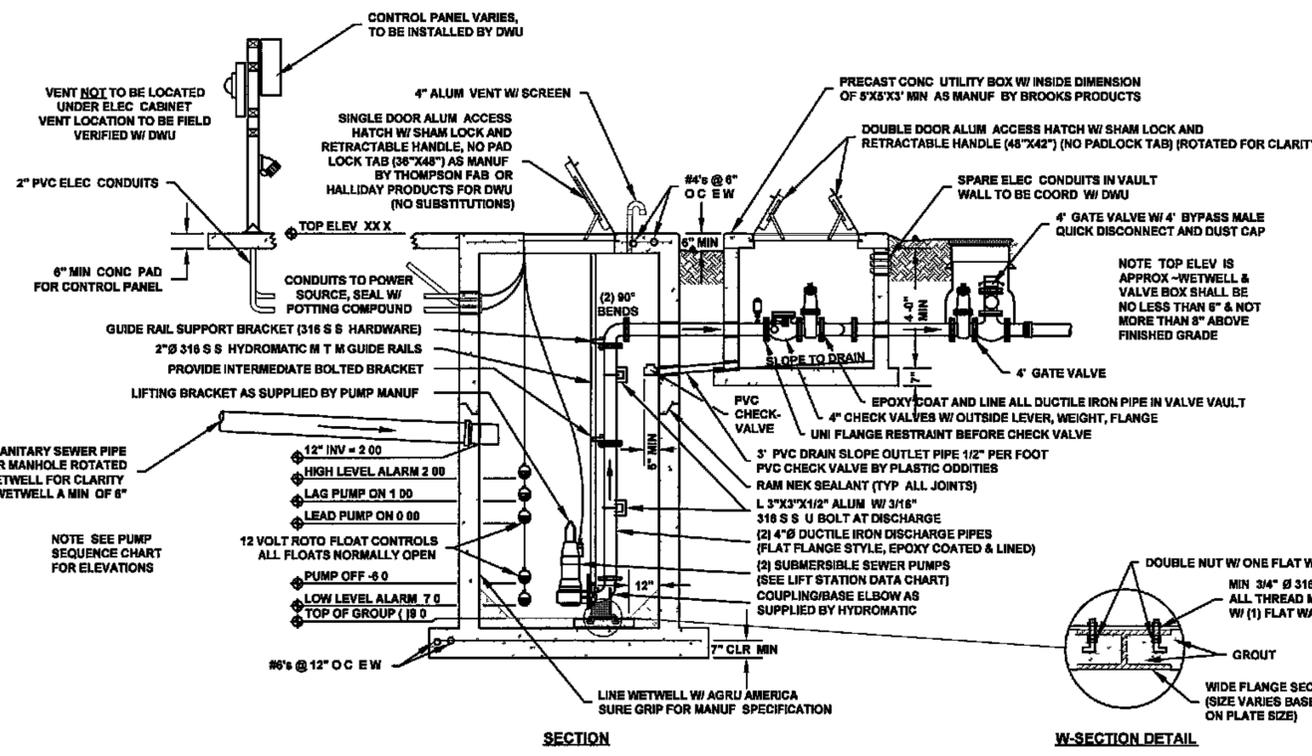
LIFT STATION CONTROL PANEL INSTALLATION DETAIL

GENERAL NOTES

- 1) VALVE VAULT SHALL BE COATED W/ KOP-COAT COAL TAR EPOXY 300 M INSIDE AND OUT (TWO COATS, 8 MILS EACH)
- 2) BASE AND FIRST RISER UNIT TO BE CAST MONOLITHIC
- 3) VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPRING CLEARANCES AS SHOWN FOR 4\"/>
- 4) ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WETWELL OR VALVE VAULT SHALL BE MADE WATERTIGHT W/ NON SHRINK GROUT. PIPING SHALL BE WRAPPED W/ THREE LAYERS OF ASPHALTIC FELT
- 5) THERE SHALL BE NO VALVES (EXCEPT AS SHOWN) OR ELEC JUNCTION BOXES IN WETWELL
- 6) WETWELL AND VALVE VAULT COVERS SHALL BE ALUM W/ 3/16\"/>
- 7) FLEXIBLE COUPLING SHALL BE SLEEVE TYPE
- 8) SEE CHART FOR PUMP SPECIFICATIONS AND OPERATING CONDITIONS
- 9) ALL HARDWARE IN WETWELL AND VALVE BOX SHALL BE 316 STAINLESS STEEL
- 10) ALL CONDUIT CONNECTING TO THE CONTROL PANEL SHALL HAVE A CONDUIT BODY CROUSE HINDS TYPE ESUF FILLED W/ APPLINGTON DUC NON HARDENING COMPOUND
- 11) ALL ENCLOSURES SHALL BE NEMA 4X SS
- 12) THE CONTRACTOR SHALL FURNISH AND INSTALL THE LIFT STATION IN ACCORDANCE W/ THE PLANS AND SPECIFICATIONS, AND IN COMPLIANCE W/ THE LIFT STATION SPECIFICATIONS OF DESTIN WATER USERS, INC
- 13) ALL WIRING TO BE COPPER TYPE THW OR STO, AND SIZED TO COMPLY W/ APPROPRIATE CODES. THE COMPLETE INSTALLATION SHALL COMPLY W/ THE NATIONAL ELEC CODE
- 14) ALL GATE VALVES ON SEWER FORCE MAINS TO BE OF RESILIENT SEAT DESIGN
- 15) EACH PIECE OF MECHANICAL EQUIPMENT AND MOTORS SHALL BE PROVIDED W/ A NAMEPLATE OF NON-CORRODIBLE METAL, SECURELY FASTENED IN PLACE, AND CLEARLY AND PERMANENTLY INSCRIBED W/ THE MANUFACTURER'S NAME, MODEL, TYPE DESIGNATION, SERIAL NUMBER, RATED CAPACITY, ELEC OR OTHER POWER CHARACTERISTICS. SPARE NAMEPLATES SHALL BE PROVIDED AND PLACED INSIDE THE CONTROL PANEL
- 16) THE CONTRACTOR SHALL FURNISH TO ENGINEER A COMPLETE COPY OF PUMP SPECIFICATIONS AS ORDERED FROM MANUF PRIOR TO SHIPMENT
- 17) THE CONTRACTOR SHALL FURNISH TO DESTIN WATER USERS, INC, FOUR (4) COMPLETE, BOUND OPERATION AND MAINTENANCE MANUALS. THE MANUALS SHALL INCLUDE CLEAR AND CONCISE INSTRUCTIONS FOR THE OPERATION, ADJUSTMENT, LUBRICATION (INCLUDING LUBRICATION CHART) AND OTHER MAINTENANCE OF THE EQUIPMENT FURNISHED. THE MANUAL SHALL ALSO INCLUDE A COMPLETE PARTS LIST, W/ CATALOG NUMBERS AND OTHER DATA NECESSARY FOR ORDERING REPLACEMENT PARTS. ALL INSTRUCTIONS AND PARTS LIST SHALL BE PREPARED SPECIFICALLY FOR THE MODEL TYPE OF EQUIPMENT FURNISHED
- 18) THE CONTRACTOR SHALL UTILIZE ALL APPLICABLE MISCELLANEOUS HARDWARE SUPPLIED BY PUMP MANUF (MUST MEET ALL SPECIFICATION REQUIREMENTS HEREIN)
- 19) THE CONTRACTOR SHALL KEEP A COMPLETE LIST OF AS BUILT DRAWINGS SHOWING ALL ITEMS OF CONSTRUCTION AND EQUIPMENT WHICH DIFFER IN SIZE, SHAPE OR LOCATION FROM THOSE SHOWN ON THE PLANS. THE AS BUILT DRAWINGS SHALL BE DELIVERED TO THE ENGINEER UPON COMPLETION OF THE LIFT STATION INSTALLATION



No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.



LEGEND

- PER PUMP MANUFACTURER'S RECOMMENDATIONS IN THEIR ENGINEERING CATALOG
- ◊ ELEVATION
- DWU DESTIN WATER USERS, INC
- O C E W ON CENTER, EACH WAY
- 316 S S 316 STAINLESS STEEL
- D I DUCTILE IRON

PUMPING STATION DATA

Project Name	DESTIN OAKS
Pump model	EMU FA 1051-147
Motor model	2 HP
Impeller size	
voltage (3 PHASE)	220
hp	2 HP
rpm	1140
delivery gpm (High System Head)	40.7
delivery gpm (Low System Head)	
TDH feet (High System Head)	
TDH feet (Low System Head)	
Top elev	20.50
Influent elev	11.00
High level alarm elev	10.50
Lead pump on elev	10.00
Low level alarm elev	9.50
Both pumps off elev	8.00
Bottom elev	6.00
Force main dia	4 INCH
Wet well dia	6 FT

NOTE: VERIFY VOLTAGE AND PHASE AVAILABILITY WITH ELECTRIC COMPANY PRIOR TO ORDERING PUMPS

WET WELL MINIMUM WALL THICKNESS TABLE

DIAMETER	MIN. WALL THICKNESS
6	7

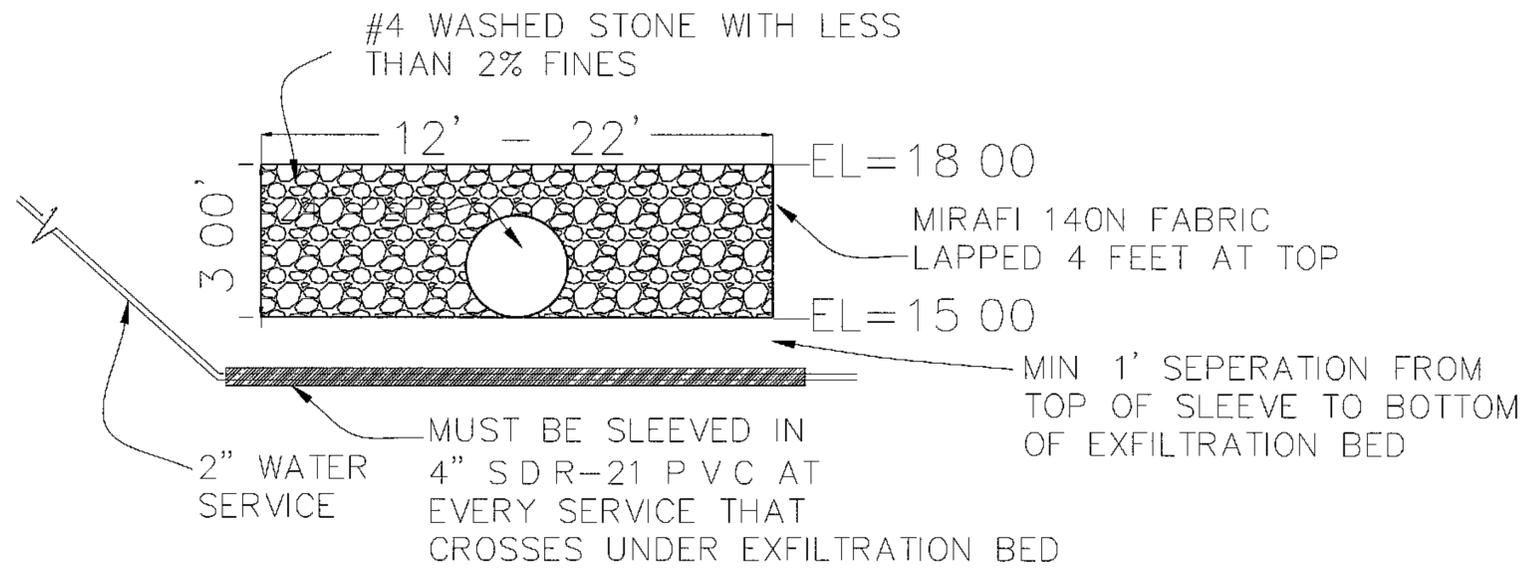
PUMPING STATION DATA

LIFT STATION / DWU DETAILS

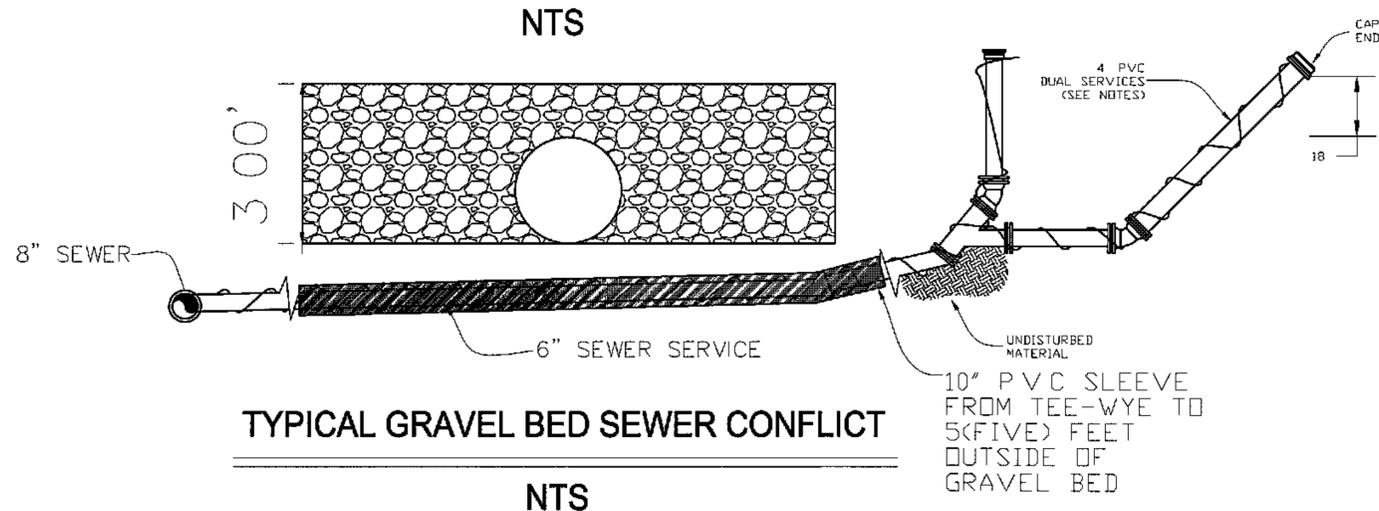
DESTIN OAKS - D.O AMENDMENT #1  
DESTIN, OKALOOSA COUNTY, FLORIDA

**ECM** a complete engineering & construction management company  
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR)  
DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP)  
E-MAIL [jelamad@yahoo.com](mailto:jelamad@yahoo.com) FAX (850) 654-2000

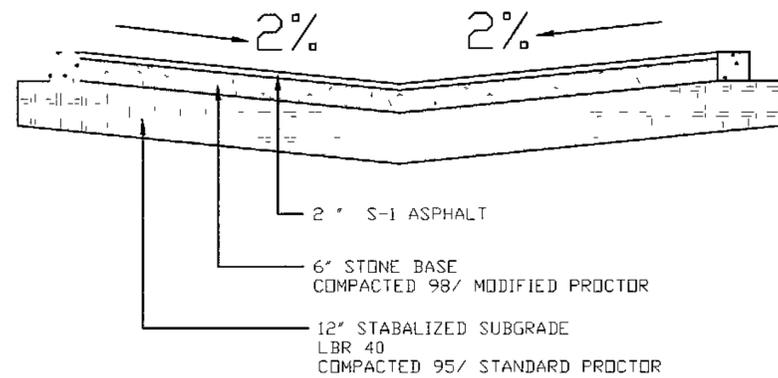
JOHN H ELAMAD P.E.	P.E. #688240	F.B.P.R. CA 8419
DRAWN BY DWU	DATE 06/08/2014	
CHECKED BY JHE	DRAWING NO 1	
JOB NO	SHEET 14 OF 18	



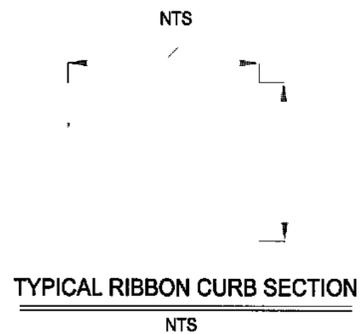
**TYPICAL EXFILTRATION / WATER SERVICE DETAIL**



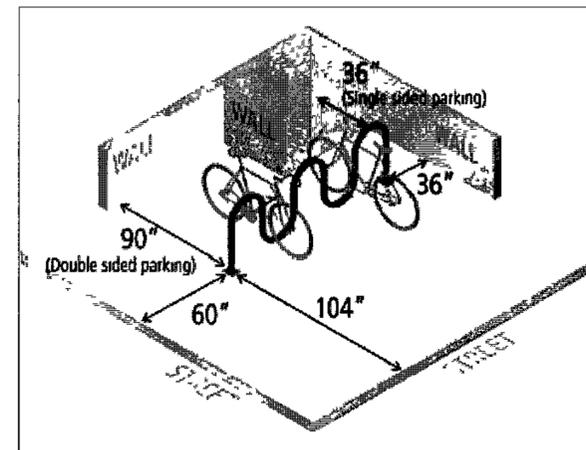
**TYPICAL GRAVEL BED SEWER CONFLICT**



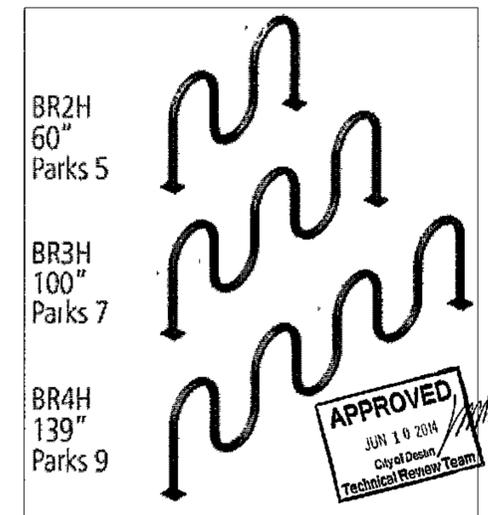
**TYPICAL ROADWAY SECTION**



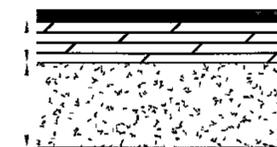
**TYPICAL RIBBON CURB SECTION**



**BICYCLE PARKING DETAILS**



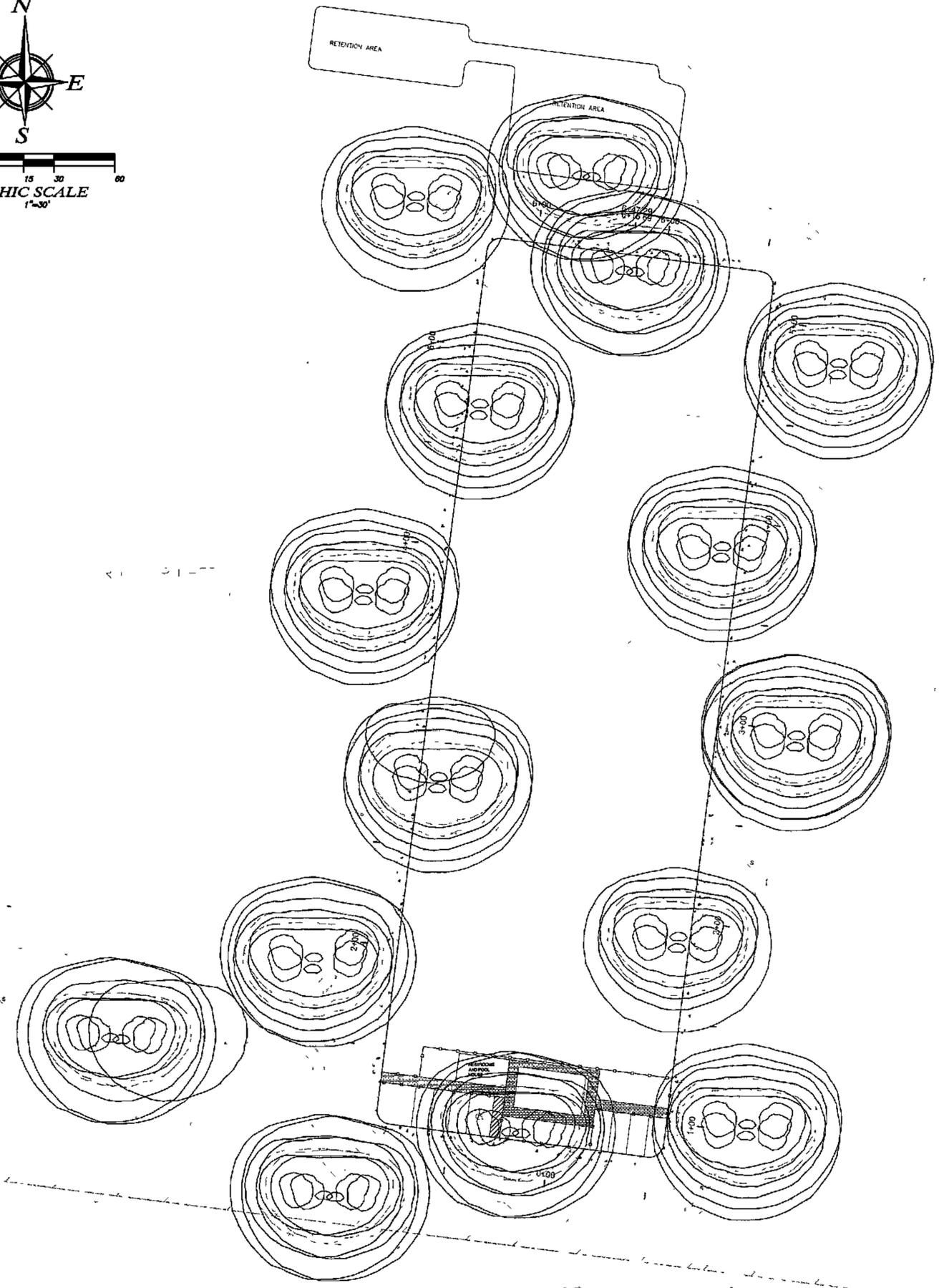
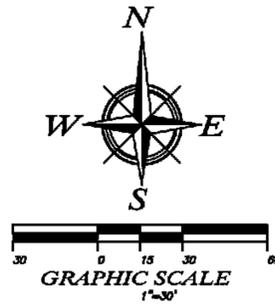
No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.



**TYPICAL PAVEMENT DETAIL**

JOHN H. ELAMAD  
P.E. #68840  
FLORIDA PROFESSIONAL ENGINEER

CITY OF DESTIN DETAILS	
DESTIN OAKS - D O AMENDMENT #1	
DESTIN, OKALOOSA COUNTY, FLORIDA	
<b>ECM</b> a complete engineering & construction management company	
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL jelamad@yahoo.com FAX (850) 654-2000	
JOHN H. ELAMAD P.E. P.E. #68840 FBPR CA 8419	
DRAWN BY BCB	DATE 06/08/2014
CHECKED BY JHE	DRAWING NO 1
JOB NO	SHEET 15 OF 18



50	40	30	20	10	0	10	20	30	40	50
0.0	0.0	0.2	0.2	0.1	0.1	0.1	0.0	0.0	0.0	0.0
0.0	0.1	0.3	0.3	0.2	0.2	0.2	0.1	0.1	0.0	0.0
0.1	0.2	0.5	0.5	0.4	0.4	0.4	0.3	0.2	0.1	0.1
0.2	0.3	1.0	1.0	1.0	1.0	1.0	0.8	0.6	0.4	0.3
0.3	0.4	1.5	1.5	1.5	1.5	1.5	1.2	0.9	0.6	0.4
0.4	0.5	2.0	2.0	2.0	2.0	2.0	1.5	1.1	0.7	0.5
0.5	0.6	2.5	2.5	2.5	2.5	2.5	1.8	1.3	0.8	0.6
0.6	0.7	3.0	3.0	3.0	3.0	3.0	2.1	1.5	1.0	0.7
0.7	0.8	3.5	3.5	3.5	3.5	3.5	2.4	1.7	1.1	0.8
0.8	0.9	4.0	4.0	4.0	4.0	4.0	2.7	1.9	1.2	0.9
0.9	1.0	4.5	4.5	4.5	4.5	4.5	3.0	2.1	1.3	1.0
1.0	1.1	5.0	5.0	5.0	5.0	5.0	3.3	2.3	1.4	1.1

Destin Fixture  
 Prague  
 file #49110.ies  
 13ft mt.ht.  
 100watt HPS  
 8800lumens

→ X

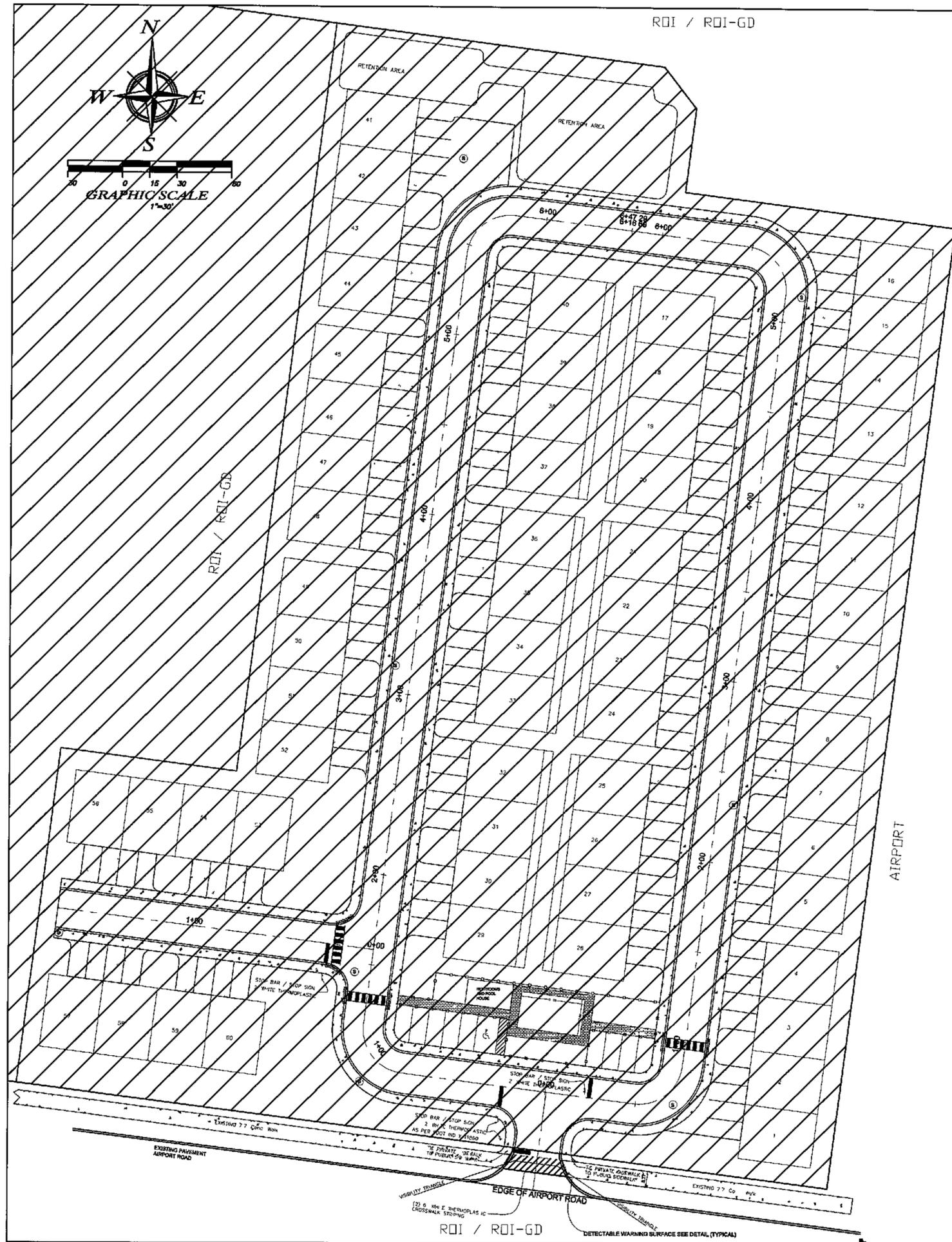


No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

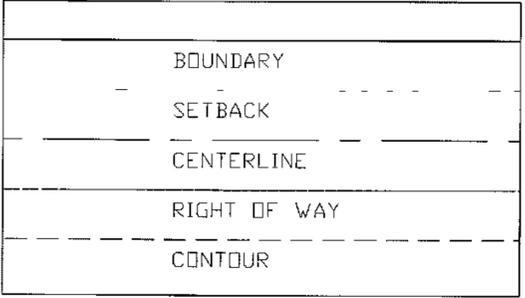
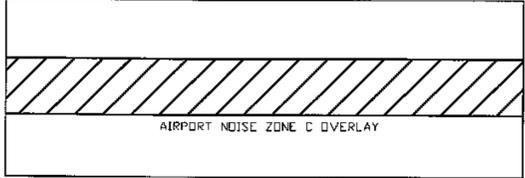
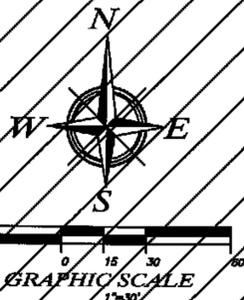
LIGHTING PLAN	
DESTIN OAKS - D.O AMENDMENT #1	
DESTIN, OKALOOSA COUNTY, FLORIDA	
<b>ECM</b> a complete engineering & construction management company	
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL jalamad@yahoo.com FAX (850) 654-2000	
JOHN H. ELAMAD P.E.	P.E. #68840 FBPR CA 8419
DRAWN BY BCB	DATE 06/08/2014
CHECKED BY JHE	DRAWING NO 1
JOB NO	SHEET 16 OF 18



DESIGN BY ARCHITECTS



ROI / ROI-GD



**LEGAL DESCRIPTION**  
 PARCEL ID # 00-88-22-0000-0001-0310  
 BEG SW COR LOT 45 BLK A KILL-ARE GARDENS SLY ALG RD J05 84 FT SE  
 ALG AIRPORT RD 1312.5 FT TO BEG CONT ALG RD 508.31 FT N7 DEG 15'40.5 FT  
 N38 DEG W716 FT S7 DEG W1044.11 FT TO BEG 1025-156 & 1087-627  
 EX DESTIN RACQUET CLUB T/H

**AREA TABULATION**  
 ACERAGE 218 808 SQ FT OR 5.023 ACRES  
 PROJECT ACERAGE 217 798.63 SQ FT OR 5.00 ACRES  
 DENSITY ALLOWED 12 UNITS PER ACRE  
 PROJECT DENSITY 60 UNITS @ 12 UNITS PER ACRE  
 PROJECT PARKING 2 SPACES PER UNITS (120 SPACES REQUIRED)

**AREA SUMMARY**

TOTAL AREA OF SITE	218 808 SQ FT OR 5.023 ACRES
TOTAL PROJECT AREA	217 798.63 SQ FT OR 5.00 ACRES
TOTAL EXISTING IMPERVIOUS AREA	83 828 SQ FT
TOTAL PROPOSED BUILDING AREA	72 400 SQ FT
TOTAL PROPOSED CONCRETE SIDEWALKS	14 229 SQ FT
TOTAL PROPOSED DRIVEWAY AREA	19 700 SQ FT
TOTAL PROPOSED ROAD AREA	31 757 SQ FT
TOTAL PROPOSED IMPERVIOUS AREA	124 765 SQ FT
TOTAL PROPOSED DEVELOPMENT IMPERVIOUS RATIO	57.28%
TOTAL PERMITTED IMPERVIOUS SURFACE RATIO	75.00%
TOTAL PROPOSED SITE DENSITY	8 UNITS PER ACRE
TOTAL PERMITTED SITE DENSITY	12 UNITS PER ACRE

**SITE DATA ROI-GD**  
 FUTURE LAND USE  
 SITE RESIDENTIAL OFFICE INSTITUTIONAL - GENERAL DEVELOPMENT (ROI-GD)  
 NORTH RESIDENTIAL OFFICE INSTITUTIONAL - GENERAL DEVELOPMENT (ROI-GD)  
 SOUTH RESIDENTIAL OFFICE INSTITUTIONAL - GENERAL DEVELOPMENT (ROI-GD)  
 EAST AIRPORT  
 WEST RESIDENTIAL OFFICE INSTITUTIONAL - GENERAL DEVELOPMENT (ROI-GD)

CURRENT LAND USE  
 SITE COMMERCIAL  
 NORTH RESIDENTIAL  
 SOUTH RESIDENTIAL  
 EAST AIRPORT  
 WEST RESIDENTIAL

**PARKING DATA**  
 RESIDENTIAL (2 PER UNIT)  
 TOTAL REQUIRED SPACES 120 SPACES  
 TOTAL PROPOSED SPACES 60 SPACES  
 TOTAL PROPOSED ADA COMPLIANT N/A

**ROADWAYS AND ACCESS**  
 ALL ROADS AND ACCESS DRIVEWAYS ARE PRIVATE

**SETBACK REQUIREMENTS LDC**  
 FRONT BUILDING SETBACK 20 REQUIRED / 20 PROVIDED  
 REAR BUILDING SETBACK 10 REQUIRED / 10 PROVIDED  
 SIDE BUILDING SETBACKS 7 REQUIRED / 7 PROVIDED

**LANDSCAPE BUFFER REQUIREMENTS**  
 RESIDENTIAL LANDSCAPE BUFFER 10 REQUIRED / 10 PROVIDED

**BUILDING HEIGHT LDC 5.00.06**  
 BUILDING HEIGHT PERMITTED 3 STORIES / 35  
 PROJECT BUILDING HEIGHT 2 STORY

**FLOOD ZONE INFORMATION**  
 NOTE THIS PARCEL IS LOCATED IN FLOOD ZONE  
 X AS DETERMINED BY SCALE FROM  
 FEMA FIRM 12131C05386 DATED SEPT 23 2010  
 OKALOOSA COUNTY FLORIDA AS PROVIDED BY RARC EARTH SURVEYING

**DEVELOPMENT OWNER DATA**  
 DESTIN OAKS LLC  
 P O BOX 1551  
 DESTIN FL 32450

**APPROVED**  
 JUN 10 2014  
 City of Destin  
 Technical Review Team

No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

**AIRPORT NOISE ZONE OVERLAY**

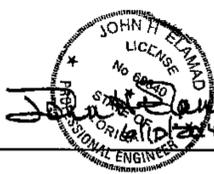
**DESTIN OAKS - D O AMENDMENT #1**

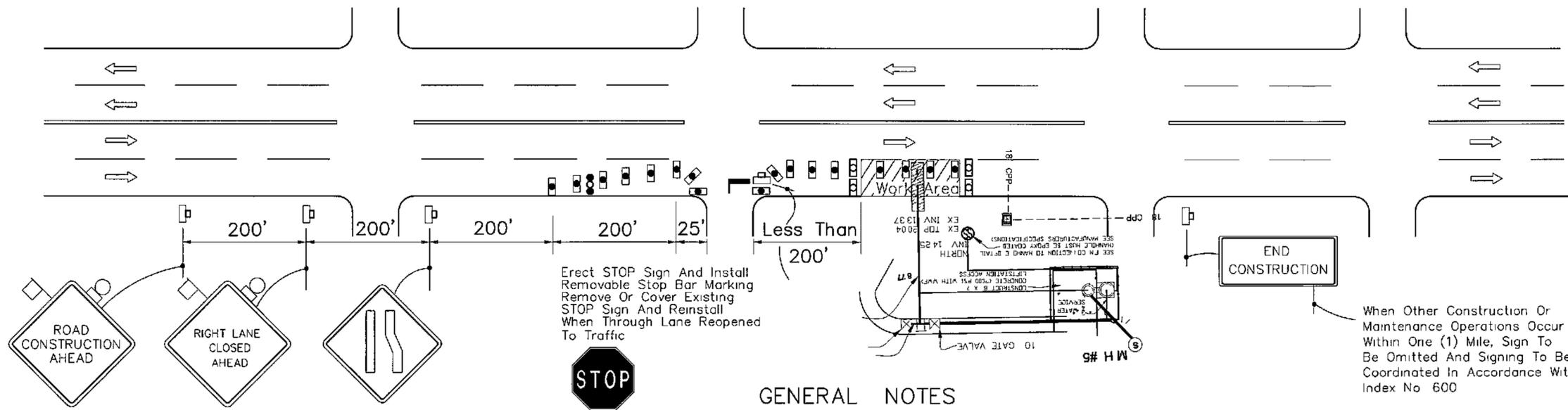
DESTIN, OKALOOSA COUNTY, FLORIDA

**ECM** a complete engineering & construction management company

4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR)  
 DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP)  
 E-MAIL [jelamad@yahoo.com](mailto:jelamad@yahoo.com) FAX (850) 654-2000

JOHN H. ELAMAD, P.E. P.E. #68840 FBPRCA 8419	
DRAWN BY BCB	DATE 06/08/2014
CHECKED BY JHC	DRAWING NO 1
JOB NO	SHEET 17 OF 18





CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCROACH ON THE PAVEMENT REQUIRING THE CLOSURE OF THE OUTSIDE TRAVEL LANE, AND/OR ADJOINING AUXILIARY LANE, FOR WORK AREA LESS THAN 200' FROM INTERSECTION, FOR A PERIOD OF MORE THAN 60 MINUTES

GENERAL NOTES

- All vehicles, equipment, workers (except flaggers) and their activities are restricted at all times to one side of the roadway
- Work operations shall be confined to either one lane or lane combinations as follows  
 (a) Outside travel lane (b) Outside auxiliary lane  
 (c) Outside travel lane and adjoining auxiliary lane  
 (d) Inside travel lane<sup>A</sup> (e) Inside auxiliary lane  
 (f) Inside travel lane and adjoining auxiliary lane  
<sup>A</sup> See Sheet 2 Of 2  
 If the work area is confined to an auxiliary lane the work area shall be barricaded and the RIGHT (LEFT) LANE CLOSED AHEAD signs replaced by ROAD CONSTRUCTION AHEAD signs, and the merge symbol signs eliminated
- For work operations of 60 minutes or less see Index No 612
- When vehicles in a parking zone block the line of sight to TCZ signs or when TCZ signs encroach on a normal pedestrian walkway, the signs shall be post mounted and located in accordance with Index No 17302
- The first two warning signs shall have a 18" x 18" (min) orange flag and a Type B light attached and operating at all times  
 Mesh signs may be used for (Daylight Only) operations  
 Type B Lights and Orange Flags are not required
- All signs shall be post mounted if the closure times exceeds 12 hours
- Dual signs are required for divided roadways

(Continued)

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCROACH ON THE PAVEMENT REQUIRING THE CLOSURE OF THE OUTSIDE TRAVEL LANE AND/OR ADJOINING AUXILIARY LANE, FOR WORK AREA 200' OR MORE FROM INTERSECTION, FOR A PERIOD OF MORE THAN 60 MINUTES

TYPICAL APPLICATIONS

- Utility Work
- Pavement Repairs
- Structure Adjustments

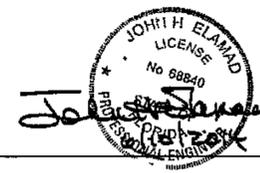


No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy

SYMBOLS

- Work Area
- Sign With 18" x 18" (Min) Orange Flag And Type B Light
- Type ~ Or Type ~~ Barricade Or Vertical Panel Or Drum (With Steady Burning Light At Night Only) Cones Or Tubular Markers May Be Used During Daylight Only
- Type ~ Or Type ~~ Barricade Or Vertical Panel Or Drum (with Flashing Light At Night Only)
- Work Zone Sign
- Advance Warning Arrow Panel
- Stop Bar

TRAFFIC CONTROL THROUGH WORK ZONES  
 MULTILANE, TWO-WAY URBAN  
 DIVIDED OR UNDIVIDED  
 DAY OR NIGHT OPERATIONS  
 623 1 of 1



MOT	
DESTIN OAKS - D O AMENDMENT #1	
DESTIN, OKALOOSA COUNTY, FLORIDA	
<b>ECM</b> a complete engineering & construction management company	
4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR) DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP) E-MAIL <a href="mailto:jelamad@yahoo.com">jelamad@yahoo.com</a> FAX (850) 654-2000	
JOHN H. ELAMAD P.E. P.E. #68840	FBPR CA 8419
DRAWN BY BCB	DATE 06/08/2014
CHECKED BY JHE	DRAWING NO 1
JOB NO	SHEET 18 OF 18