

PROJECT NAME



HOG'S BREATH OFFICES

MINOR TIER ONE DEVELOPMENT ORDER

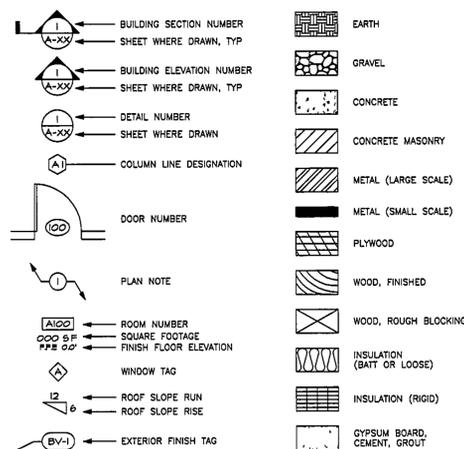
REVISED PLANS 14-05-SP

527 MOUNTAIN DRIVE
DESTIN, FLORIDA 32541

ABBREVIATIONS

- AB ANCHOR BOLT
- ACGUST ACCUSTICAL
- AFF ABOVE FINISH FLOOR
- ALT ALTERNATE
- ALUM ALUMINUM
- APPROX APPROXIMATELY
- ARCH ARCHITECTURAL
- BD BOARD
- BLDG BUILDING
- BLK BLOCK
- BLNG BLOCKING
- BM BEAM
- B O S BOTTOM OF STEEL
- BS BOTH SIDES
- BTM BOTTOM
- BUR BUILT UP ROOF
- CI CAST IRON
- C J CONTROL JOINT
- CT CERAMIC TILE
- CAB CABINET
- CEM CEMENT(IOUS)
- CG CORNER GUARD
- CL CLEAR
- CLG CEILING
- CMU CONCRETE MASONRY UNIT
- CO CLEAN OUT
- COL COLUMN
- CONC CONCRETE
- CONSTR CONSTRUCTION
- CONTR CONTRACTOR
- CPT CARPET
- CR CHAIRRAIL
- CSK COUNTERSUNK
- D DEPTH DEEP
- DBL DOUBLE
- DEMO DEMOLITION
- DET DETAIL
- DA DIAMETER
- DN DOWN
- DIM DIMENSION
- DO DOOR OPENING
- DS DOWN SPOUT
- DWG DRAWING
- E EAST
- EA EACH
- EB EXPANSION BOLT
- EFS EXTERIOR INSULATION
- FINISH SYSTEM
- E J EXPANSION JOINT
- EL ELEVATION (FLOOR)
- ELEV ELEVATION
- ELEC ELECTRICAL
- EQ EQUAL
- EQUIP EQUIPMENT
- E/W EACH WAY
- EWG ELECTRIC WATER COOLER
- EXIST EXISTING
- EXP EXPOSED (CONSTRUCTION)
- EXT EXTERIOR
- F/D FLOOR DRAIN
- F/O FACE OF
- FIN FINISH
- FL FLOOR
- FDN FOUNDATION
- FS FLOOR SINK
- FT FOOT FEET
- FTG FOOTING
- GC GENERAL CONTRACTOR
- GA GAUGE GYPSUM ASSOC
- GALV GALVANIZED
- GEN GENERAL
- GL GLASS/GLAZING GLUE
- GYP BD GYPSUM BOARD
- H HIGH
- HB HOSE BIBB
- HC HANDICAPPED
- HDW HARDWARE
- H.M HOLLOW METAL
- HORIZ HORIZONTAL
- HP HIGH POINT
- HT HEIGHT
- H V A C HEATING VENTILATING & AIR CONDITIONING
- ID INSIDE DIAMETER
- INCL INSULATION
- INT INTERIOR, INTERMEDIATE
- J V JOB VERIFY
- JT JOINT
- LAM LAMINATED
- LF LINEAR FEET
- LG LONG, LARGE
- LM LONG LEG HORIZONTAL
- LLV LONG LEG VERTICAL
- LOC LOCATION
- LP LOW POINT
- MATL MATERIAL
- MAX MAXIMUM
- MECH MECHANICAL
- MED MEDIUM
- MFR MANUFACTURER
- MIN MINIMUM
- MISC MISCELLANEOUS
- M O MASONRY OPENING
- M R G B MOISTURE RESISTANT GYPSUM BOARD
- MTD MOUNTED
- MTL METAL
- N NORTH
- N I C NOT IN CONTRACT
- NO, # NUMBER
- NTS NOT TO SCALE
- O/A OVERALL
- O F D OVERFLOW DRAIN
- O/H OVERHEAD
- O/O OUT TO OUT
- OC ON CENTER
- OD OUTSIDE DIAMETER
- OPNG OPENING
- OPP OPPOSITE
- P PAINT
- PC PIECE
- PL PLATE
- PLUS PLASTER, PLASTIC
- PLYWD PLYWOOD
- PTD PAINTED
- QUAN QUANTITY
- R RADIUS RISER
- R D ROOF DRAIN
- REIN REINFORCING
- REDD REQUIRED
- RESIL RESILIENT
- REV REVISION, REVERSE
- RM ROOM
- R O ROUGH OPENING
- ROMTS REQUIREMENTS
- RTU ROOF TOP UNIT
- R W L RAIN WATER LEADER
- SCHED SCHEDULE
- SP SQUARE FEET, STOREFRONT
- SIT SHEET
- SIM SIMILAR
- S M S SHEET METAL SCREW
- SPEC SPECIFICATIONS
- SQ SQUARE
- S S SERVICE SINK, STAINLESS STEEL
- STD STANDARD
- STL STEEL
- STOR STORAGE
- STRUCT STRUCTURAL
- SUSP SUSPENDED
- T TREAD
- T/B TOP & BOTTOM
- TEL TELEPHONE
- T/O TOP OF
- T O M TOP OF MASONRY
- T O S TOP OF STEEL
- TH THICKNESS
- TYP TYPICAL
- UL UNDERWRITERS LABORATORY
- U N O UNLESS OTHERWISE NOTED
- V VOLT
- VCT VINYL COMPOSITION TILE
- W WIDTH WASTE WEST WIRE
- W WITH
- W C WATER CLOSET
- WD WOOD
- WT WEIGHT
- W/H WATER HEATER
- W/I WITHIN
- W/O WITHOUT
- WMF WELDED WIRE FABRIC

SYMBOLS



CLIENT

ADDRESS
541 HARBOR BLVD
DESTIN, FL 32541

CONTACT
SHERRY DORMINY
OR
KELLY MIILLE
PH (850) 837-5100

ARCHITECT

W. ARCHITECT, P A
4100 LEGENDARY DRIVE, SUITE 240
DESTIN, FLORIDA 32541
EMAIL wpope@warchitect.com

CONTACT
BILL POPE
PH (850) 865-0470

STRUCTURAL

ADDRESS
E C M
4639 GULF STARR DRIVE
DESTIN, FL 32541

CONTACT
PH (850) 837-7454
CELL (850) 585-7454
jelamad@yahoo.com

CIVIL

ADDRESS
E C M
4639 GULF STARR DRIVE
DESTIN, FL 32541

CONTACT
PH (850) 837-7454
CELL (850) 585-7454
jelamad@yahoo.com

LANDSCAPE ARCHITECT

ADDRESS
LANDRY DESIGN
LAND PLANNING & LANDSCAPE ARCHITECTURE
555 NORTH POINT CENTER EAST, SUITE 400
ALPHARETTA, GA 30022

CONTACT
TROY M LANDRY
PLA, LEED AP BD+C
PH (678) 250-4688
FX (678) 366-5001
tlandry@landry-design.com

SURVEYOR

ADDRESS
RARE EARTH INC
717 BAYSHORE DRIVE
NICEVILLE, FL 32578

CONTACT
PH (850) 729-2722

BUILDING DEPARTMENT

ADDRESS
CITY OF DESTIN
4200 TWO TREES ROAD
DESTIN, FL 32541

CONTACT
LARRY BALLARD
PH (850) 654-1119

FIRE DEPARTMENT

ADDRESS
DESTIN FIRE CONTROL DISTRICT
FIRE PREVENTION BUREAU
848 AIRPORT ROAD, P O BOX 276
DESTIN, FL 32540

CONTACT
RON GERDEMAN,
FIRE INSPECTOR
PH (850) 837-8413

PRINTS AND MEDIA

W. ARCHITECT, P A
4100 LEGENDARY DRIVE, SUITE 240
DESTIN, FLORIDA 32541
EMAIL wpope@warchitect.com

CONTACT
DEE POPE
PH (850) 654-6522
dee@warchitect.com

GENERAL NOTES

THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A COPY OF THE PERMIT IN THE EVENT THAT THE DRAWINGS ARE "APPROVED AS NOTED". THE ARCHITECT WILL INCORPORATE COMMENTS INTO A CONSTRUCTION ISSUE SET

A All work shall conform to the requirements of the local building code, Fire Department regulations, utility company requirements, and the best trade practices

B The Contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The Contractor shall design and install adequate shoring and bracing for all structural or removal tasks. The Contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.

C The Contractor shall coordinate all work procedures with requirements of local authorities.

D The Contractor shall verify all existing conditions in the field prior to commencing work, and shall report any discrepancies between drawings and field conditions to the Architect and the Owner.

E The Contractor is to secure and pay for all necessary fees and permits for construction, electrical and plumbing inspections, etc.

F These drawings are graphic representation and are not to be scaled or measured, in every case the written dimension or note is correct.

G All dimensions are given to rough framing and masonry unless noted.

H The contractor will verify all dimensions, and will notify the architect of any discrepancies or omissions prior to commencing with construction.

PROPERTY LEGAL DESCRIPTION

PARCEL ID #
00-25-22-0310-000E-3520

East 1/2 of Lot 362 and Lot 363, Block E, Second Revision of Colhoun's Subdivision of Addition to Town of Destin Subdivision, according to the Plat thereof as recorded in Plat Book 2, Page 43A of the Public Records of Okaloosa County, Florida. Contains 0.34 acres or 15,000 Sq Ft.

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	SURVEY	9/10/13	
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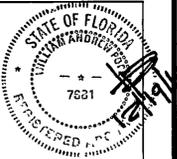


W. ARCHITECT, P.A.

4100 LEGENDARY DRIVE, SUITE 240
DESTIN, FLORIDA 32541
850 865 0470
Member of American Institute of Architects
DBPR NBR AA 2600-1732

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PROPERTY OF W. ARCHITECT, P.A. (WAPA) DO NOT REPRODUCE THESE DRAWINGS AND/OR SPECIFICATIONS WITHOUT THE EXPRESSED WRITTEN CONSENT OF WAPA. THE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF THE SERVICE AND SHALL REMAIN THE PROPERTY OF WAPA WHETHER THE PROJECT FOR WHICH THEY ARE CREATED IS EXECUTED OR NOT. THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED BY ANYONE ON ANY OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT UNLESS THE EXPRESSED WRITTEN PERMISSION OF W. ARCHITECT P.A. IS GIVEN.



WILLIAM A. POPE
FLORIDA LICENSE 7681

PROJECT



CORPORATE
OFFICES
DESTIN, FLORIDA

ISSUED FOR .

- SCHEMATICS
- DESIGN DEVELOPMENT
- 60% REVIEW
- 100% CONTRACT DOCUMENTS
- DEVELOPMENT ORDER
- PRICING
- BIDDING
- PERMIT
- CONSTRUCTION

DATE
NO OF PAGES

SHEET TITLE

COVER SHEET



14-05-SP
No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

Planning

NOTIFICATION OF CHANGES

THE FOLLOWING STATEMENT IS MADE IN REGARDS TO THE "PROJECT" AS DEFINED BY THIS SET OF CONSTRUCTION DOCUMENTS AND ANY INCLUDED SPECIFICATIONS. "THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY CHANGES OR DEVIATIONS WITHIN THE PROJECT IN WRITING FOR APPROVAL BEFORE ANY CHANGES ARE IMPLEMENTED"

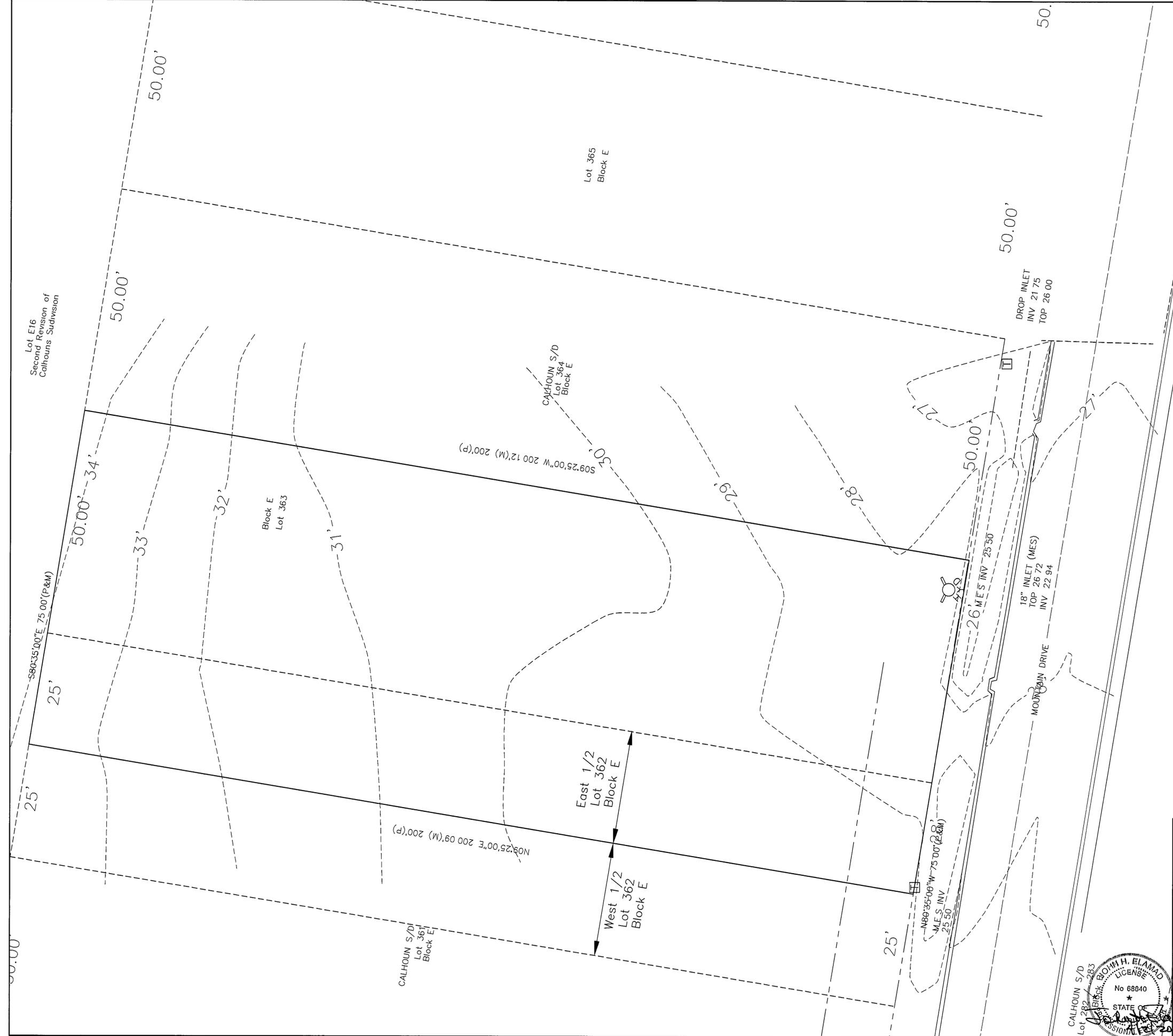
DATE	REMARKS
12.19.13	DEV. ORDER REVISIONS

REVISIONS

DATE	REMARKS
12.19.13	DEV. ORDER REVISIONS

T-1.1

SHEET NO



SITE DATA SUMMARY

LEGAL DESCRIPTION
 PARCEL ID #
 00-28-22-0310-000E-3820
 EAST 1/2 OF LOT 362 AND LOT 363, BLOCK E, SECOND REVISION OF CALHOUN'S
 SUBDIVISION OF ADDITION TO TOWN OF DESTIN SUBDIVISION, ACCORDING TO THE PLAT
 THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 43A, OF THE PUBLIC RECORDS OF
 OKALOOSA COUNTY, FLORIDA. CONTAINS 0.34 ACRES OR 15000 SQ. FT.

BOUNDARY
ROW
CONTOUR

APPROVED
 JAN 31 2014
 City of Destin
 Technical Review Team

No changes shall be made to, and construction shall not deviate from, these approved plans without prior written approval from the City of Destin. Unapproved deviations may result in the revocation of building permits and the inability to secure a Certificate of Occupancy.

EXISTING CONDITIONS

HOGS BREATH SALOON CORPORATE OFFICES

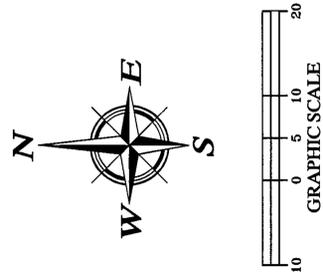
Destin, Florida

ECM a complete engineering & construction management company

4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR.)
 DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP.)
 E-MAIL jelamad@yahoo.com FAX (850) 654-2000

JOHN H. ELAMAD, P.E.	P.E. #68840	FBPR CA 8419
DRAWN BY BCB	DATE 10/30/13	
CHECKED BY JHE	DRAWING NO 1	
DATE 1-31-2014	SHEET 1 OF 6	





SCREENING / SIGN REQUIREMENTS

LEGAL DESCRIPTION

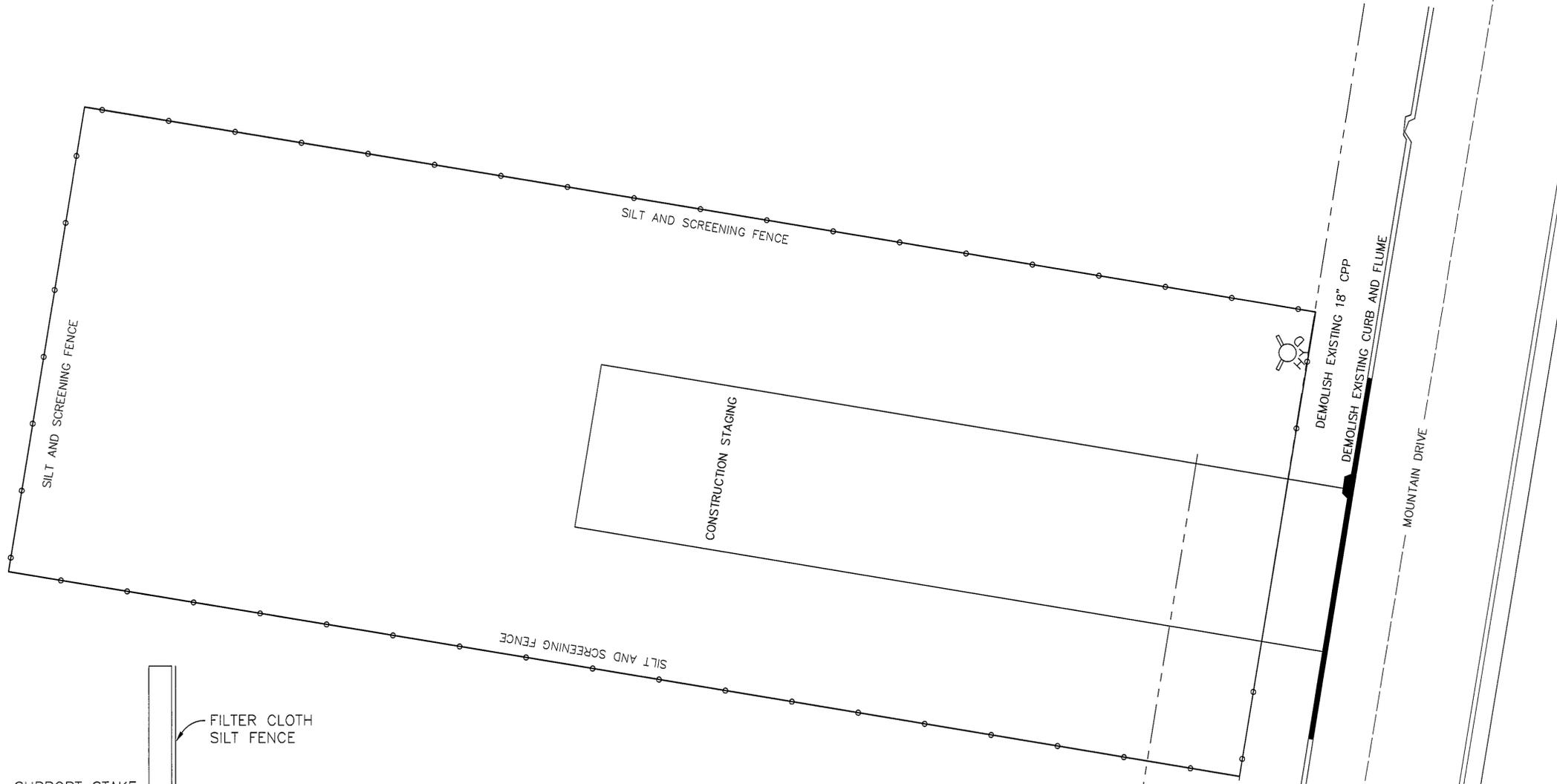
PARCEL ID #
00-28-22-0310-0003-3620
EAST 1/2 OF LOT 352 AND LOT 353, BLOCK E, SECOND REVISION OF CALHOUN S
SUBDIVISION OF ADDITION TO TOWN OF DESTIN SUBDIVISION, ACCORDING TO THE PLAT
THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 43A, OF THE PUBLIC RECORDS OF
OKALOOSA COUNTY, FLORIDA CONTAINS 0.34 ACRES OR 15000 SQ. FT.

SCREENING REQUIREMENTS

THE SCREEN MATERIAL SHALL BE MADE OF AN OPAQUE MATERIAL CAPABLE OF ALLOWING AIR TO PASS BUT SEMI-PERVIOUS TO DUST AND DIRT. THE SCREENING SHALL BE OF A FINENESS SUCH THAT NO MATERIAL OVER ONE-EIGHTH (1/8) INCH IN SIZE SHALL PASS THROUGH THE MESH. SUCH SCREENING SHALL BE SECURELY AFFIXED TO THE CONSTRUCTION FENCE. FENCE SCREENING SHALL HAVE A MINIMUM HEIGHT OF FIVE (5) FEET AND A MAXIMUM HEIGHT OF EIGHT (8) FEET. THE SCREENING MATERIAL SHALL BE MAINTAINED IN GOOD CONDITION AND TAUT THROUGHOUT THE ALLOTTED PERMIT TIME. THE SCREENING MUST BE KEPT SECURE FROM ANY WIND ACTION IN CASES WHERE THE FINISHED GRADE OF THE DEVELOPMENT SITE IS HIGHER BY MORE THAN ONE (1) FOOT OR MORE THAN THE GRADE OF THE ADJOINING PROPERTIES. SAID FENCE SCREENING SHALL BE PLACED AT THE FINISHED GRADE AND NOT THE EXISTING GRADE.

CONSTRUCTION SIGN REQUIREMENTS

THE SUBJECT PROPERTY DESCRIBED IN THE DEVELOPMENT PERMIT APPLICATION SHALL HAVE A SIGN POSTED BY THE OWNER/AGENT, NOTIFYING THE PUBLIC OF THE NAME, AND 24 HOURS A DAY, 7 DAYS A WEEK EMERGENCY CONTACT PHONE NUMBER OF THE RESPONSIBLE PARTY FOR SAID DEVELOPMENT SITE. SIGN SHALL BE NOT LARGER THAN EIGHTEEN (18) INCHES BY TWENTY-FOUR (24) INCHES AND NOT SMALLER THAN SIXTEEN (16) INCHES BY TEN (10) INCHES IN SIZE. SAID SIGN SHALL NOT BE LOCATED FURTHER AWAY THAN FIVE (5) FEET FROM THE ADJACENT RIGHT-OF-WAY. THE REQUIRED CONTENT OF THE SIGN SHALL BE LEGIBLE AS VIEWED FROM THE ADJACENT RIGHT-OF-WAY. THE POSTED SIGN SHALL BE PLACED UPON THE SUBJECT PROPERTY PRIOR TO ANY CONSTRUCTION ACTIVITY OCCURRING ON THE SITE.



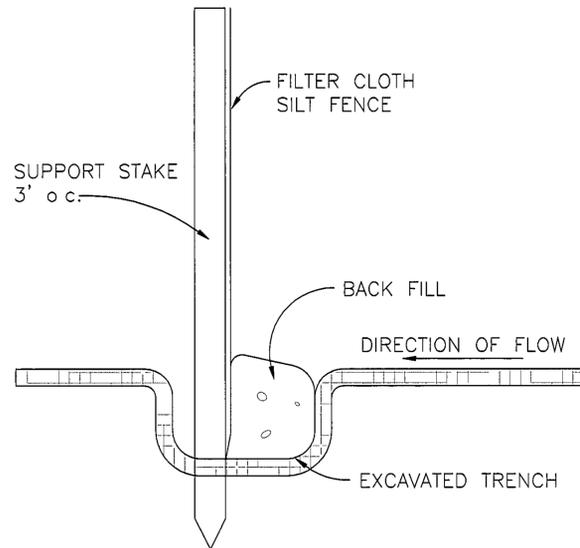
BOUNDARY

ROW

SILT & SCREENING FENCE

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS ON ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), EMBANKMENTS OF PONDS, BASINS, AND TRAPS, AND WITHIN 14 CALENDAR DAYS ON ALL OTHER DISTURBED OR GRADED AREAS. THE REQUIREMENTS OF THIS SECTION DO NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING PERFORMED.

THE CONTRACTOR, DEVELOPER, AND/OR OWNER SHALL REQUEST THE EROSION CONTROL INSPECTOR TO INSPECT AND APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED ESO, AND IN ACCORDANCE WITH THE ORDINANCE. THE CONTRACTOR, DEVELOPER, OR OWNER SHALL BE REQUIRED TO OBTAIN WRITTEN APPROVAL BY THE CITY INSPECTOR AT THE STAGES OF DEVELOPMENT AS OUTLINED IN THE CONDITIONS OF THE DEVELOPMENT ORDER OR BUILDING PERMIT.



SILT FENCE DETAIL
N.T.S.

NOTE:

SILT FENCE TO BE CONSTRUCTED AND MAINTAINED AROUND ALL INLETS, ALSO ACROSS DRAINAGE COURSE AT EDGE OF SITE AND AT 150' INTERVALS

EROSION NOTES:

1. EROSION PROTECTION SOIL EROSION SEDIMENTATION MUST BE CONTROLLED AND RETAINED ON SITE DURING CONSTRUCTION. THEREFORE, EROSION PROTECTION, SUCH AS STAKED BALED HAY AND SILT FENCE BARRIERS, MUST BE INSTALLED PRIOR TO START OF CONSTRUCTION.
2. SILT FENCE BARRIER SHALL BE INSTALLED AS SHOWN ON PLANS, AND IN ALL AREAS SUBJECT TO SOIL EROSION SEDIMENTATION.
3. STORMWATER DETENTION AREAS SHALL BE SODDED.
4. GRADES AT CURBS ARE AT FLOWLINE.



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**STAGING / EROSION CONTROL
SCREENING / SIGNAGE**

HOGS BREATH SALOON CORPORATE OFFICES

Destin, Florida

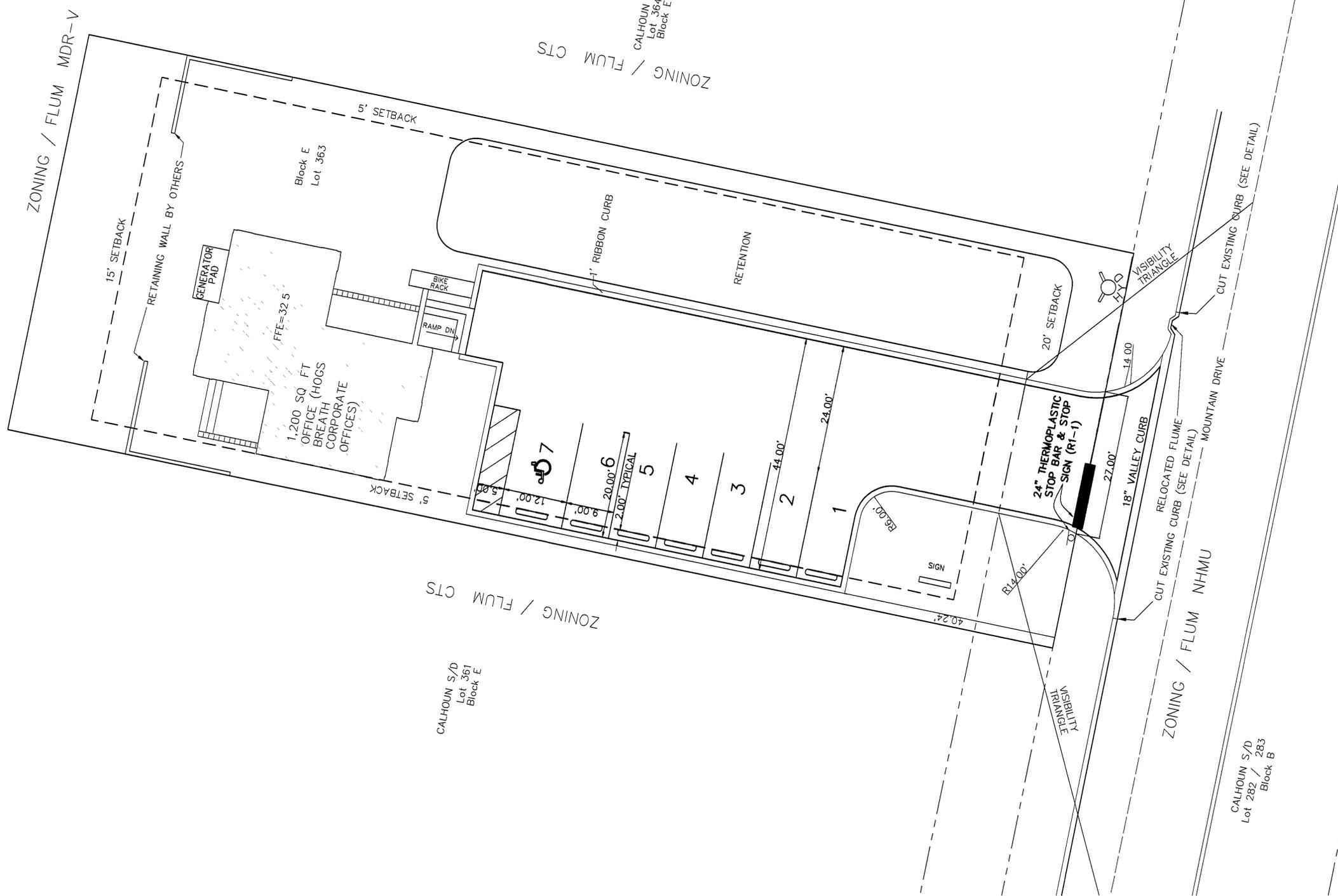
ECM a complete engineering & construction management company

4639 GULF STARR DRIVE TELEPHONE (850) 837-7454 (ENGR)
DESTIN, FLORIDA 32541 TELEPHONE (850) 837-7456 (INSP)
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JOHN H. ELAMAD, P.E.		P.E. #68840		FBPR CA 8419	
DRAWN BY	BCB	DATE	10/30/13		
CHECKED BY	JHE	DRAWING NO	1		
JOB NO	13-09-800 0:1		SHEET	2 OF 6	



Lot E16
Second Revision of
Calhoun's Subdivision



SITE DATA SUMMARY

LEGAL DESCRIPTION
 PARCEL ID # 00-28-22-0310-000E-3620
 EAST 1/2 OF LOT 362 AND LOT 363 BLOCK E, SECOND REVISION OF CALHOUN'S SUBDIVISION OF ADDITION TO TOWN OF DESTIN SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 43A, OF THE PUBLIC RECORDS OF OKALOOSA COUNTY, FLORIDA. CONTAINS 0.34 ACRES OR 15000 SQ. FT.

AREA TABULATION
 ACERAGE 15,000 SQ. FT. OR 0.34 ACRES
 BUILDING AREA 1,200 SQ. FT.
 PROJECT PERMITTED FAR 1.30
 PROJECT FAR 0.08

AREA SUMMARY
 TOTAL PROJECT AREA 15,000 SQ. FT. OR 0.34 ACRES
 TOTAL PROPOSED BUILDING AREA 1,200 SQ. FT.
 TOTAL PROPOSED DRIVEWAY AREA 4,904 SQ. FT.
 TOTAL PROPOSED IMPERVIOUS AREA 6,104 SQ. FT.
 TOTAL PROPOSED DEVELOPMENT IMPERVIOUS RATIO 40.65%
 TOTAL PERMITTED IMPERVIOUS SURFACE RATIO 75.00%

SITE DATA CTS
 FUTURE LAND USE
 SITE COMMERCIAL TRADES AND SERVICE
 NORTH MEDIUM DENSITY RESIDENTIAL
 SOUTH NORTH HARBOR MIXED USE
 EAST COMMERCIAL TRADES AND SERVICE
 WEST COMMERCIAL TRADES AND SERVICE

CURRENT LAND USE
 ZONING
 SITE VACANT COMMERCIAL TRADES AND SERVICE
 NORTH VACANT / RESIDENTIAL MEDIUM DENSITY RESIDENTIAL-VILLAGE
 SOUTH VACANT / COMMERCIAL NORTH HARBOR MIXED USE
 EAST VACANT COMMERCIAL TRADES AND SERVICE
 WEST RESIDENTIAL COMMERCIAL TRADES AND SERVICE

PARKING DATA
 SECTOR 35 MANAGEMENT OF COMPANIES AND ENTERPRISES
 TOTAL REQUIRED SPACES 5 SPACES
 TOTAL PROPOSED SPACES 7 SPACES
 TOTAL PROPOSED ADA COMPLIANT 1 SPACE
 BICYCLE PARKING (8.06 10) 1 REQUIRED / 1 PROVIDED WITH APPROVED SIGN

ACCESS
 ALL ACCESS DRIVEWAYS ARE PRIVATE

SETBACK REQUIREMENTS LDC
 FRONT BUILDING SETBACK 10' REQUIRED / 10' PROVIDED
 REAR BUILDING SETBACK 10' REQUIRED / 10' PROVIDED
 SIDE BUILDING SETBACKS 5' REQUIRED / 5' PROVIDED

OPEN SPACE
 OPEN SPACE REQUIRED 25%
 OPEN SPACE PROVIDED 57%

BUILDING HEIGHT
 BUILDING HEIGHT PERMITTED 3 STORIES / 35'
 PROJECT BUILDING HEIGHT 2 STORY / 28'

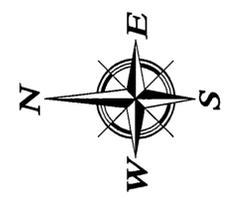
FLOOD ZONE INFORMATION
 NOTE THIS PARCEL IS LOCATED IN FLOOD ZONE X AS DETERMINED BY SCALE FROM FEMA FIRM 12131C0488G, DATED 12/06/2002 OKALOOSA COUNTY FLORIDA AS PROVIDED BY RARE EARTH SURVEYING

DEVELOPMENT OWNER DATA
 DORMINY LAND COMPANY, LLC
 1 PAHOKEE LANE,
 DESTIN, FL 32541

APPROVED
 JAN 31 2014
 City of Destin
 Technical Review Team

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SETBACK	CONCRETE
BUILDING	ASPHALT
BOUNDARY	BUILDING
ROW	



SITE PLAN

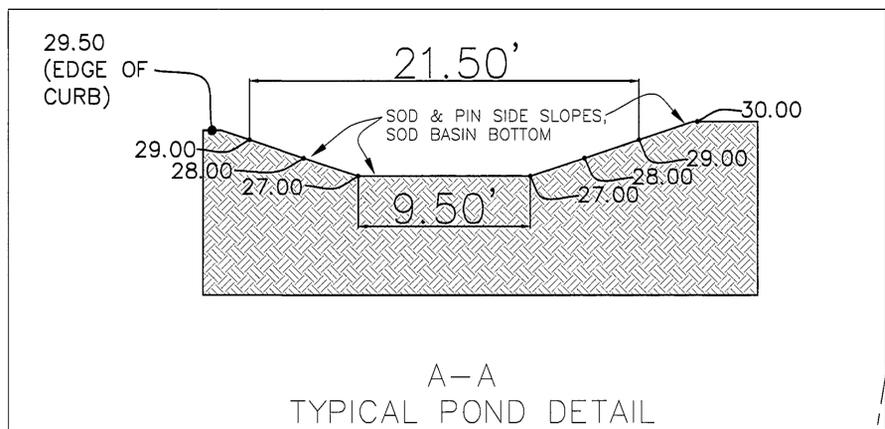
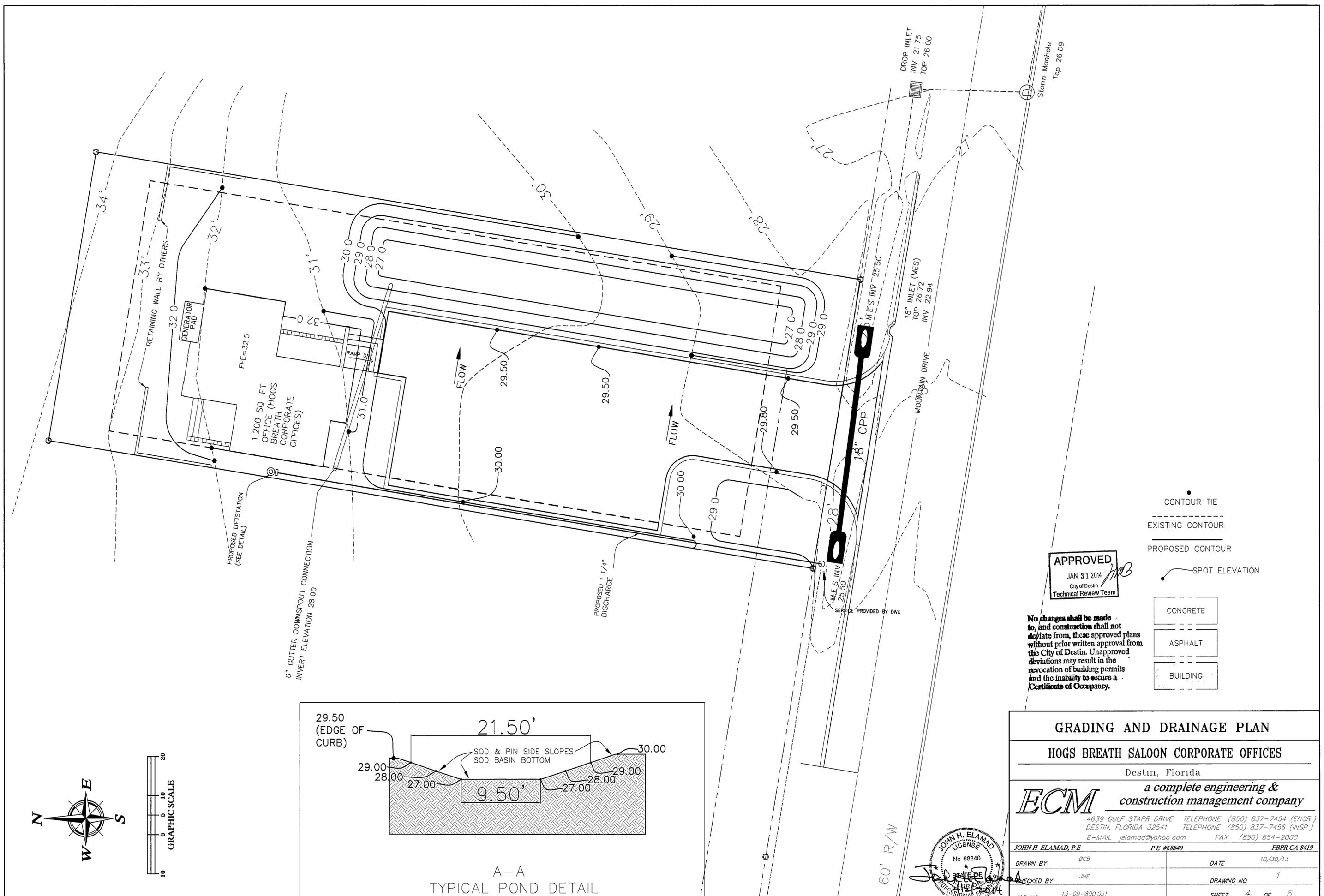
HOGS BREATH SALOON CORPORATE OFFICES

Destin, Florida

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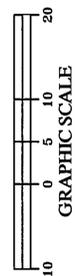
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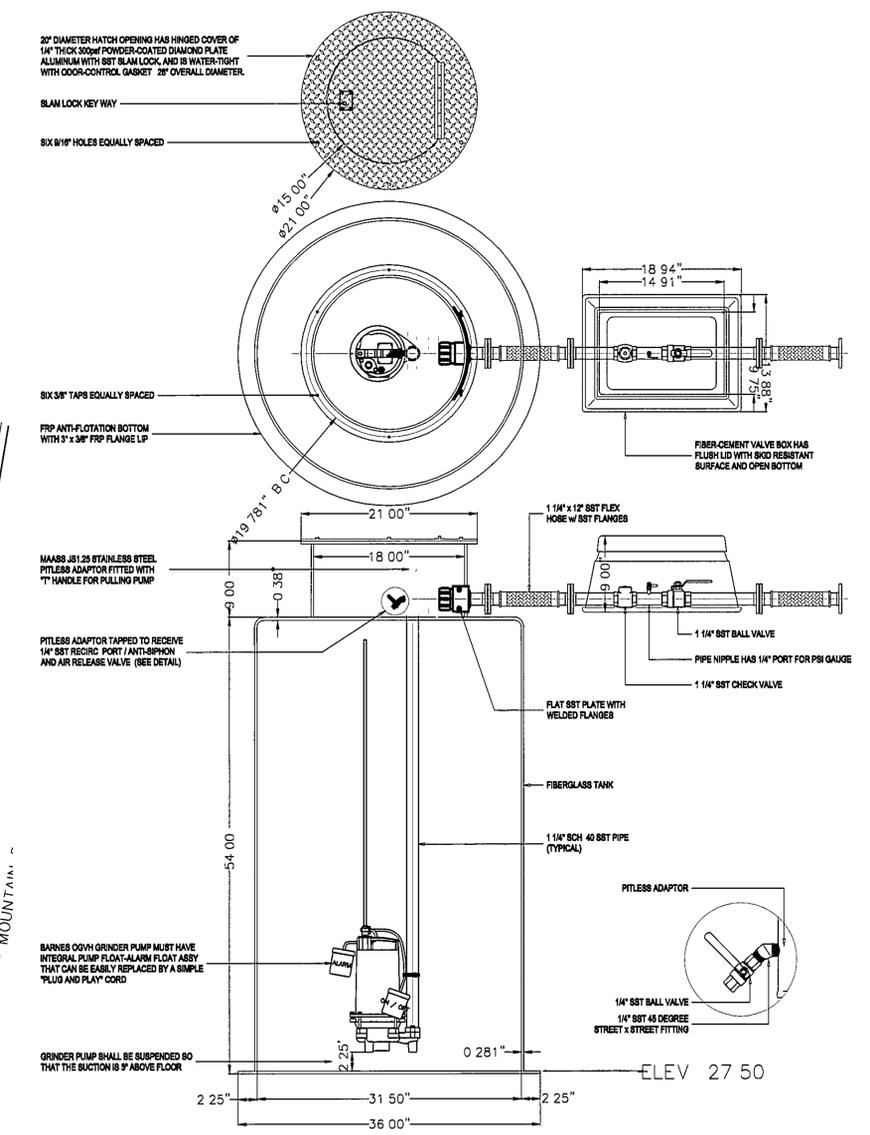
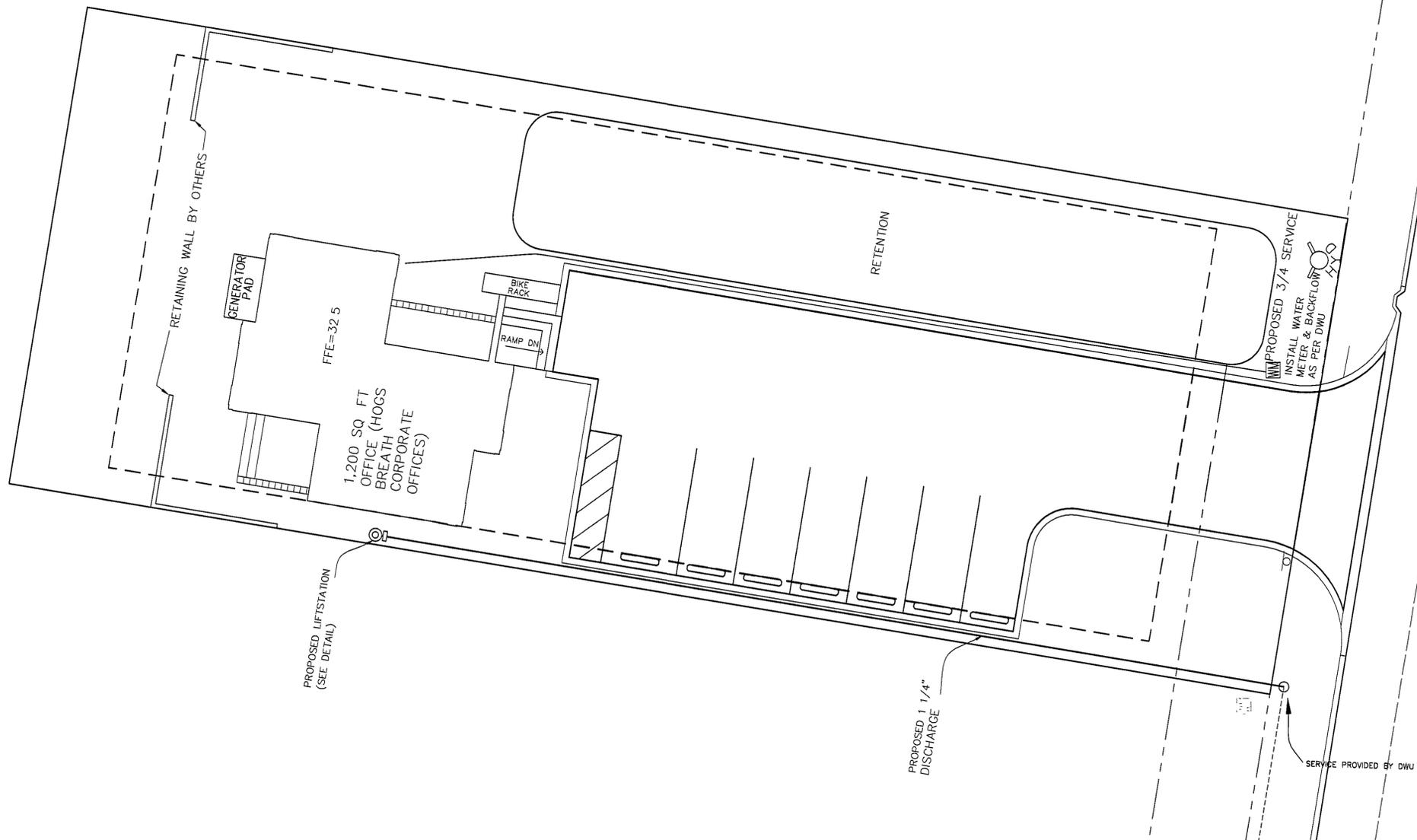
- CONTOUR TIE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION

- CONCRETE
- ASPHALT
- BUILDING

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GRADING AND DRAINAGE PLAN			
HOGS BREATH SALOON CORPORATE OFFICES			
Destin, Florida			
<i>a complete engineering & construction management company</i>			
ECM			
4639 GULF STARR DRIVE DESTIN, FLORIDA 32541 E-MAIL jelamad@yahoo.com		TELEPHONE (850) 837-7454 (ENGR) TELEPHONE (850) 837-7456 (INSP) FAX (850) 654-2000	
JOHN H. ELAMAD, P.E. P.E. #68840		FBPR CA 8419	
DRAWN BY	BCB	DATE	10/30/13
CHECKED BY	JHE	DRAWING NO	1
JOB NO	13-09-800 D.s1	SHEET	4 OF 6



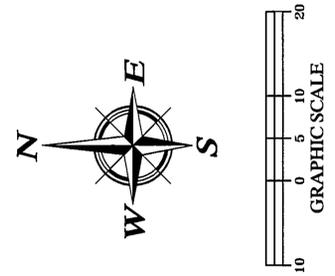


LIFTSTATION DETAIL

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 JAN 31 2014
 City of Destin
 Technical Review Team

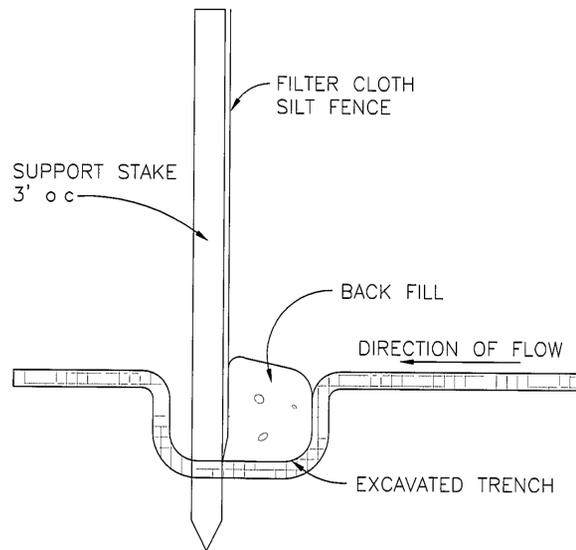
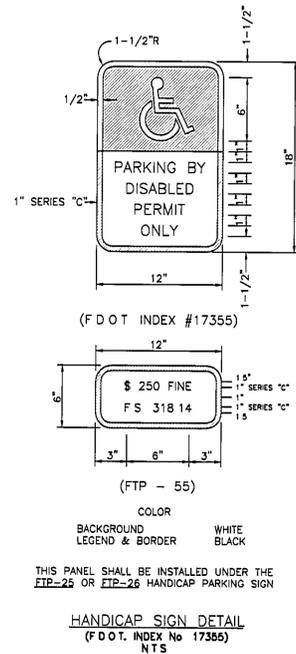
SINGLE PHASE .240V Capacitor Start/Capacitor Run
 Includes overload protection in the motor Requires Barnes Starter or Control Panel which Includes Capacitors, or Capacitor pack

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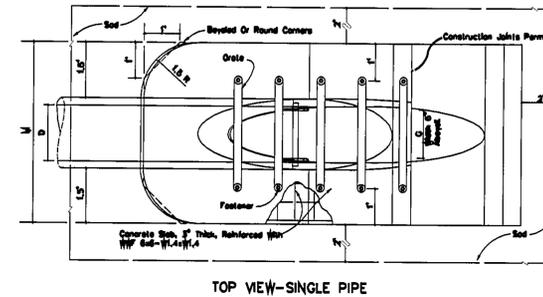
UTILITY PLAN			
HOGS BREATH SALOON CORPORATE OFFICES			
Destin, Florida			
<i>ECM</i> a complete engineering & construction management company			
4639 GULF STARR DRIVE DESTIN, FLORIDA 32541 E-MAIL jelamad@yahoo.com		TELEPHONE (850) 837-7454 (ENGR) TELEPHONE (850) 837-7456 (INSP) FAX (850) 654-2000	
JOHN H. ELAMAD, P.E.	P.E. #68840	FBPR CA 8419	
DRAWN BY BCB	DATE 10/30/13		
CHECKED BY JHE	DRAWING NO. 1		
JOB NO. 13-09-800.031	SHEET 5 OF 6		

JOHN H. ELAMAD
 LICENSE
 No 68840
 PROFESSIONAL ENGINEER

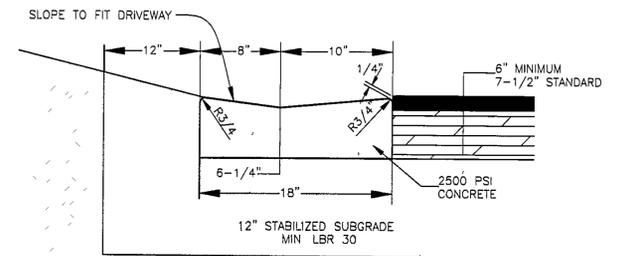


SILT FENCE DETAIL
N.T.S.

NOTE:
SILT FENCE TO BE CONSTRUCTED
AND MAINTAINED AROUND ALL
INLETS, ALSO ACROSS DRAINAGE
COURSE AT EDGE OF SITE AND
AT 150' INTERVALS



MITERED SECTION DETAIL
N.T.S.

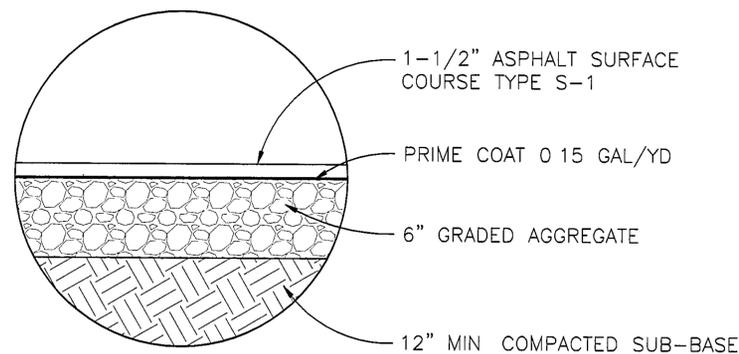


NOTE WHEN USING ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE
GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT
NOTE CONTRACTOR SHALL BACKFILL BEHIND CURB PRIOR TO SPREADING AND
COMPACTING ROAD BASE MATERIAL STABILIZED SUBGRADE SHALL EXTEND 12"
BEYOND THE BACK OF CURB

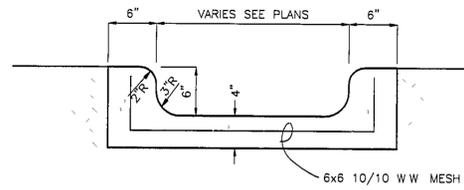
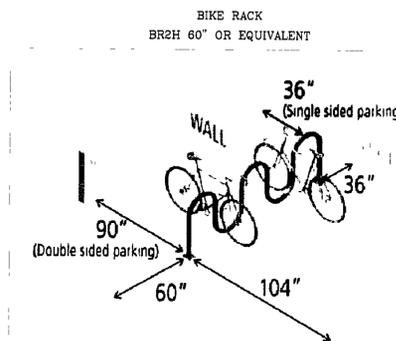
DROP CURB DETAIL
N.T.S.
(FDOT STANDARD INDEX NO 300)

EROSION NOTES:

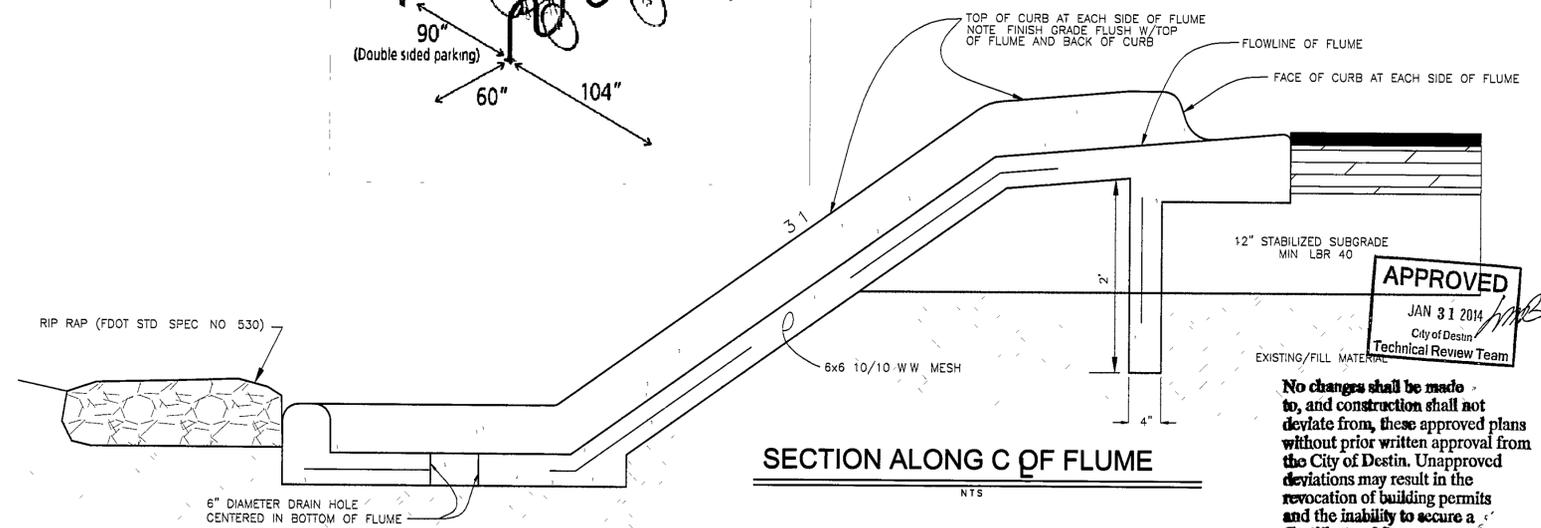
1. EROSION PROTECTION SOIL EROSION SEDIMENTATION MUST BE CONTROLLED AND RETAINED ON SITE DURING CONSTRUCTION. THEREFORE, EROSION PROTECTION, SUCH AS STAKED BALED HAY AND SILT FENCE BARRIERS, MUST BE INSTALLED PRIOR TO START OF CONSTRUCTION
2. SILT FENCE BARRIER SHALL BE INSTALLED AS SHOWN ON PLANS, AND IN ALL AREAS SUBJECT TO SOIL EROSION SEDIMENTATION
3. STORMWATER DETENTION AREAS SHALL BE SODDED
4. GRADES AT CURBS ARE AT FLOWLINE



1-1/2" ASPHALT PAVEMENT DETAIL
N.T.S.

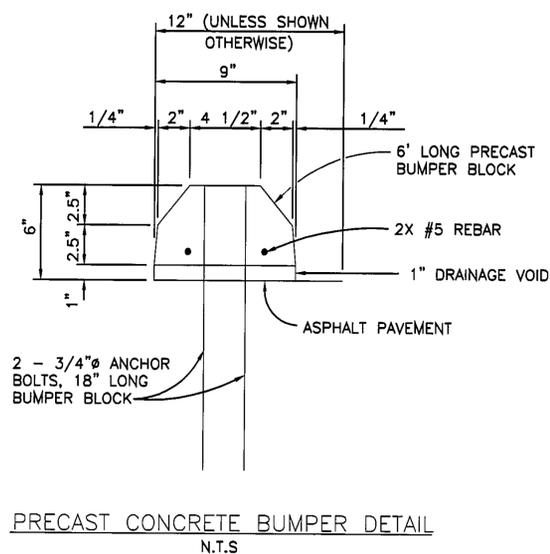


CROSS SECTION
N.T.S.

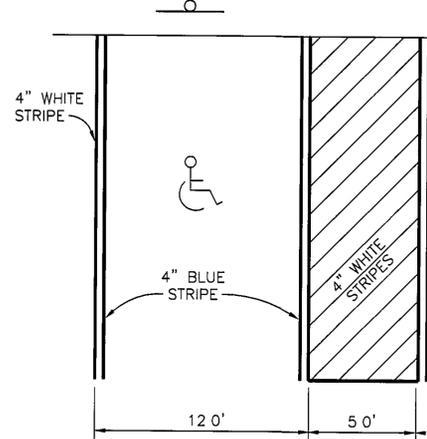


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City of Destin
Technical Review Team

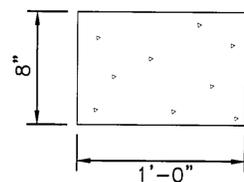
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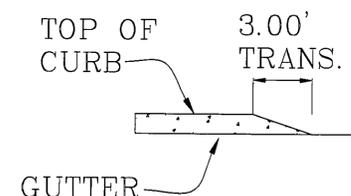
PRECAST CONCRETE BUMPER DETAIL
N.T.S.



HANDICAP AREA STRIPING DETAIL
N.T.S.



FLAT CURB DETAIL
N.T.S.



CURB TRANSITION DETAIL
NOTE END OF CURB TYPE "D" SHALL TRANSITION FROM FULL TO ZERO HEIGHT IN 3'

JOHN H. ELAMAD, P.E.
LICENSE
No 68840
Professional Engineer

DETAILS			
HOGS BREATH SALOON CORPORATE OFFICES			
Destin, Florida			
a complete engineering & construction management company			
4639 GULF STARR DRIVE DESTIN, FLORIDA 32541 E-MAIL: jelamad@yahoo.com		TELEPHONE (850) 837-7454 (ENGR) TELEPHONE (850) 837-7456 (INSP) FAX (850) 654-2000	
JOHN H. ELAMAD, P.E.	PE #68840	FBPR CA 8419	
DRAWN BY BCB	DATE 10/30/13		
CHECKED BY JHE	DRAWING NO 1		
JOB NO 13-09-800 031	SHEET 6 OF 6		

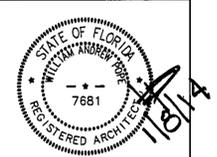


W ARCHITECT, P.A.

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DBPR NBR AA 2600-1732

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WILLIAM A. POPE
FLORIDA LICENSE 7681

PROJECT



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DESTIN, FLORIDA

ISSUED FOR .

- SCHEMATICS
- DESIGN DEVELOPMENT
- 60% REVIEW
- 100% CONTRACT DOCUMENTS
- DEVELOPMENT ORDER
- PRICING
- BIDDING
- PERMIT
- CONSTRUCTION

DATE
NO OF PAGES

SHEET TITLE

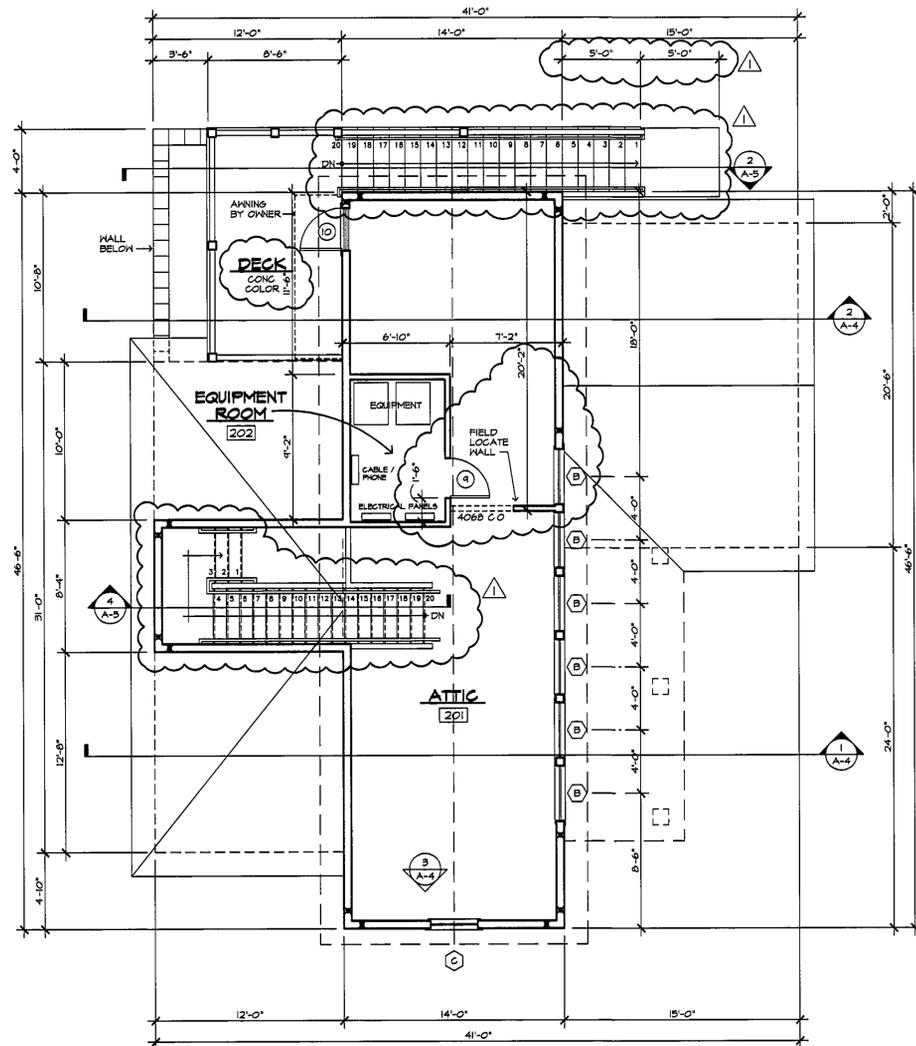
FLOOR PLANS

DATE

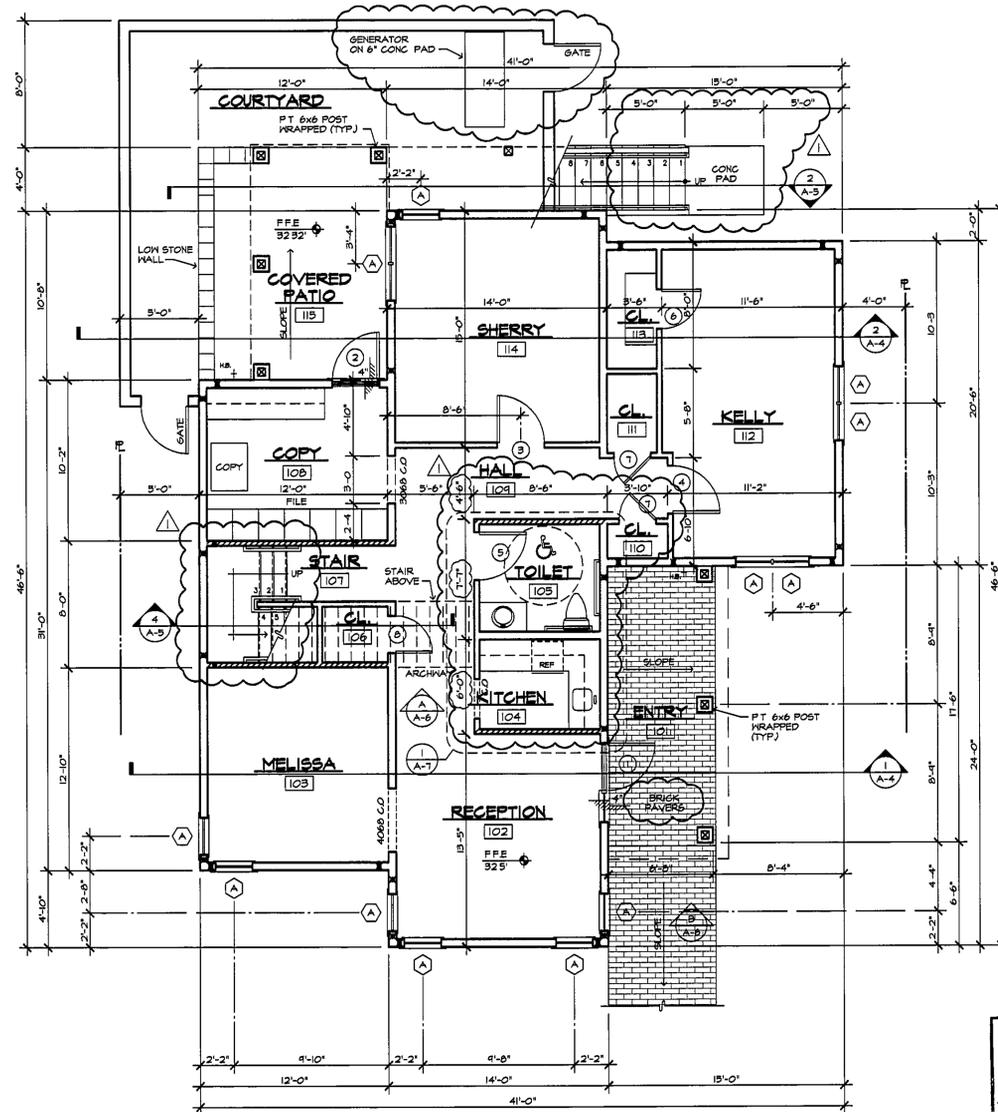
JAN
08
2014

REVISIONS

DATE	REMARKS
2.05.14	REV. PER CITY OF DESTIN



FLOOR PLAN - UPPER LEVEL 651 S.F.
SCALE 3/16"=1'-0"



FLOOR PLAN - LOWER LEVEL 1391 S.F.
SCALE 3/16"=1'-0"
BUILDING FIN. FLOOR ELEVATION 32.5'

CORNER HOLD DOWN
5/8" DIA ALL THREAD ROD (TYP.)

APPROVED ANCHOR BOLTS MAY
USE 5/8" TITANIUM OR MILTI OR
SIMPSON EPOXY BOLT OR
RED HEAD 3/2" ON CENTER

/// DENOTES SHEAR WALL
W/ 1/2" PLYPWOOD SHEATHING
ONE SIDE ONLY

APPROVED
JAN 31 2014
City of Destin
Technical Review Team

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FINISH SCHEDULE

ROOM #	ROOM NAME	FLOORING	BASE	WALL	CEILING	CLG HT	TRIM	REMARKS
101	ENTRY	BRICK PAV	WOOD	5/8" GYP BD	5/8" GYP BD	VARIES	TBD	
102	RECEPTION	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	10'-0"	TBD	
103	MELISSA	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	10'-0"	TBD	
104	KITCHEN	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	10'-0"	TBD	
105	TOILET	VINYL WD	WOOD	NO WAINSCOT	5/8" GYP BD	10'-0"	TBD	
106	CLOSET	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	VARIES	TBD	
107	STAIR	WOOD TREADS	--	5/8" GYP BD	5/8" GYP BD	VARIES	TBD	
108	COPY	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	VARIES	TBD	
109	HALL	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	VARIES	TBD	ARCH 8'-0"
110	CLOSET	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	10'-0"	TBD	
111	CLOSET	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	10'-0"	TBD	
112	KELLY	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	10'-0"	TBD	
113	CLOSET	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	10'-0"	TBD	
114	SHERRY	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	10'-0"	TBD	
115	COVERED PATIO	COLORLED CONC	--	5/8" GYP BD	5/8" GYP BD	10'-0"	TBD	
	SECOND FLOOR				5/8" GYP BD		TBD	
201	ATTIC SPACE	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	VARIES	TBD	
202	EQUIPMENT ROOM	VINYL WD	WOOD	5/8" GYP BD	5/8" GYP BD	VARIES	TBD	

A-1

SHEET NO

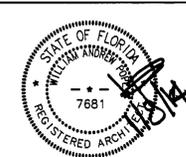


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WILLIAM A. POPE
FLORIDA LICENSE 7681

PROJECT



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- ISSUED FOR .
- SCHEMATICS
 - DESIGN DEVELOPMENT
 - 60% REVIEW
 - 100% CONTRACT DOCUMENTS
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 - BIDDING
 - PERMIT
 - CONSTRUCTION
- DATE
NO OF PAGES

SHEET TITLE

BUILDING
ELEVATIONS

DATE
JAN
08
2014

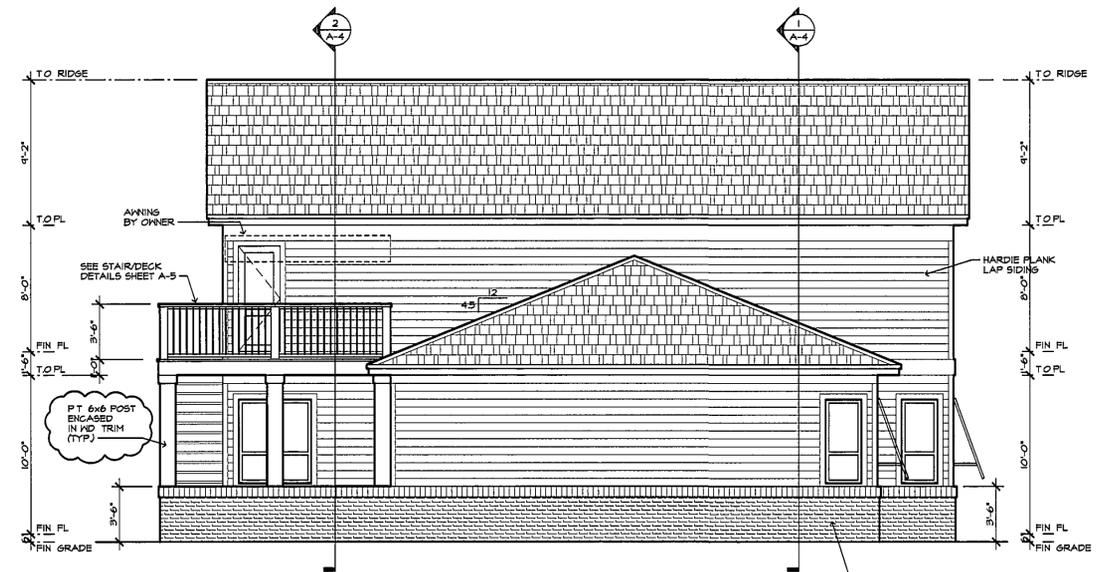
REVISIONS

DATE	REMARKS

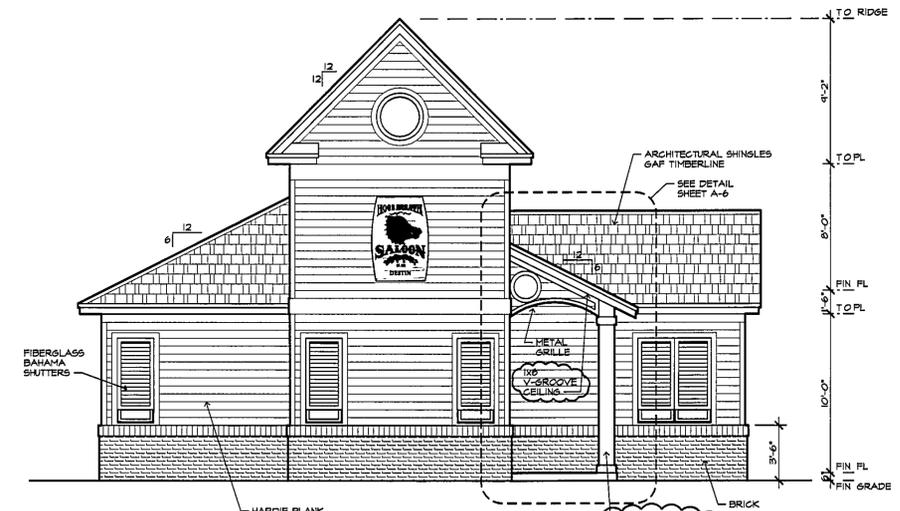
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JAN 31 2014
City of Destin
Technical Review Team

NOTE
ALL GUTTERS BY OWNER

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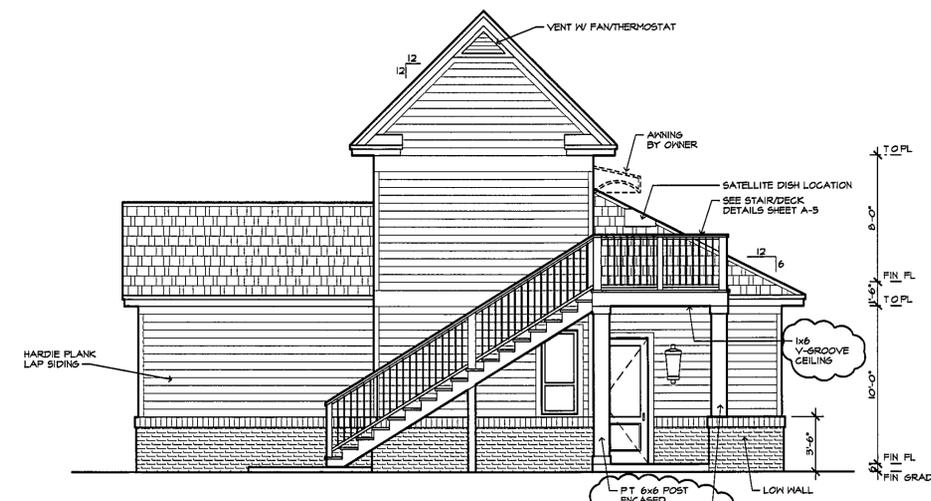
WEST ELEVATION
SCALE 3/16"=1'-0"



SOUTH ELEVATION
SCALE 3/16"=1'-0"



EAST ELEVATION
SCALE 3/16"=1'-0"



NORTH ELEVATION
SCALE 3/16"=1'-0"

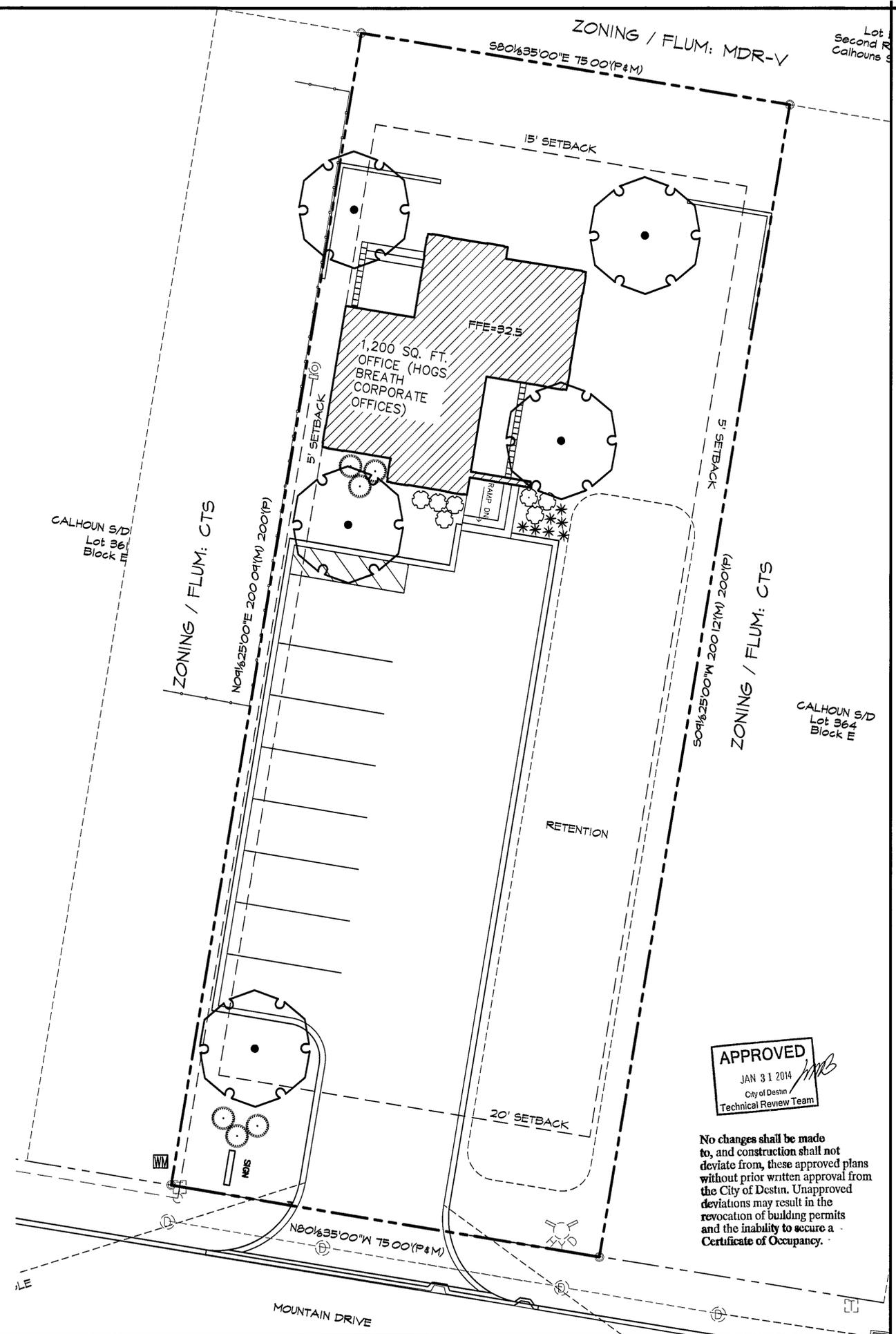
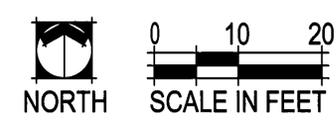
CITY LANDSCAPE REQUIREMENTS FOR TIER 1

1. SITE INFORMATION:					
TOTAL SITE AREA:		19,000 SF / 0.34 AC			
2. FRONT / COMMON BOUNDARY LANDSCAPING:		YES	NO	REQUIRED	PROVIDED
A.	10' LANDSCAPE STRIP ALONG FRONT PERIMETER		NA	EXEMPT	
B.	1 TREE PER 25' L.F., 75 L.F.		NA	EXEMPT	
C.	5' LANDSCAPE STRIP ALONG SIDES		NA	EXEMPT	
D.	VISUAL SCREEN ALONG SIDE PROPERTIES		NA	EXEMPT	
3. INTERIOR PARKING LANDSCAPING:		YES	NO	REQUIRED	PROVIDED
A.	NO MORE THAN 15 STALLS IN A ROW	X			
B.	1 TREE PER PARKING ISLAND		N/A		
C.	PARKING ISLES TERMINATED WITH LANDSCAPE ISLAND	X			
D.	1 TREE PER PARKING TERMINATION LANDSCAPE ISLAND	X		2	2
4. REFORESTATION TREES:		YES	NO	REQUIRED	PROVIDED
A.	1 TREE FOR EACH ONE-TENTH OF AN ACRE	X		3	3
0.34 ACRE / .10 = 3.4 TREES = 3 TREES REQ'D					
(THESE TREES ARE IN ADDITION TO OTHER REQUIRED TREES)					
5. SHRUBS REQUIRED:				REQUIRED	PROVIDED
A.	4 SHRUBS REQUIRED FOR EVERY TREE REQUIRED FOR CODE.				
	- FRONT PERIMETER			EXEMPT	
	- INTERIOR PARKING LANDSCAPING			8	8
	- REFORESTATION TREES			12	12
- 5 REQUIRED TREES X 4 SHRUBS = 20					
SHRUBS COUNTED TOWARDS THIS REQUIREMENT					
2/3 SHRUBS	DW. YAUPON	7			
	SAND CORDGRASS	6			
1/3 GROUND COVER	PINK MUHLY	7	TOTAL	20	

- NOTES:
- ALL REQUIRED TREES SHALL BE A MINIMUM OF 10 FEET IN HEIGHT AND HAVE A 2 1/2" INCH CALIPER AT THE TIME OF PLANTING.
 - A MINIMUM OF 75% OF ALL PLANT MATERIAL USED TO SATISFY THE REQUIREMENTS SHALL BE NATIVE TO THE NORTHWEST FLORIDA AREA.
 - IF SABAL PALMS ARE USED FOR REQUIRED TREES, THEN TWO (2) SABAL PALMS MUST BE GROUPED TOGETHER TO COUNT TOWARDS THE REQUIRED TREE WITH A 20' FOOT CROWN SPREAD AT MATURITY.

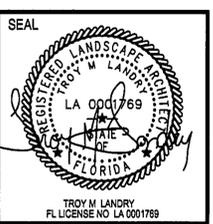
PLANT SCHEDULE

EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CAL	HT	CONT	REMARKS
	5	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	2.5" CAL	10-11' HT	B&B	
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING	REMARKS	
	7	DWARF SCHILLINGS HOLLY	ILEX VOMITORIA 'SCHILLINGS DWARF'	3 GAL	36" o.c.		
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING	REMARKS	
	7	PINK MUHLY	MUHLENBERGIA CAPILLARIS	1 GAL	24" o.c.		
	6	SAND CORD GRASS	SPARTINA BAKERI	3 GAL	48" o.c.		



APPROVED
 JAN 31 2014
 City of Destin
 Technical Review Team

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NO.	DATE	REVISIONS / SUBMISSIONS
10/28/13		SUBMIT TO CITY OF DESTIN
12/10/13		ADDRESS CITY COMMENTS

Landry Design
 Land planning + landscape architecture
 555 North Point Center East, J Suite 400
 Alpharetta, GA 30022
 t. 678-250-4688 f. 678-366-5001
 Landry-Design.com

CLIENT
DORMINY LAND COMPANY, LLC
 1 PAHOKEE LANE
 DESTIN, FL 32541

PROJECT NO LD13 116
HOGS BREATH SALOON CORPORATE OFFICES
 DESTIN, FLORIDA

SCALE	1"=10'-0"
DATE	10/28/2013
DRAWN BY	TML
CHECKED BY	TML

CITY OF DESTIN
 LANDSCAPE PLAN

PUMP AND WELL NOTE:

APPROXIMATE LOCATION OF PUMP AND WELL REFER TO SPECIFICATIONS AND DETAILS FOR INFORMATION TO FURNISH AND INSTALL COMPLETE UNIT WITH AN IRON DISCOLORATION TREATMENT SYSTEM. THE PUMP AND WELL SHALL OPERATE UTILIZING A PRESSURE DEMAND SYSTEM CONTRACTOR TO VERIFY EXACT LOCATION WITH OWNER'S REPRESENTATIVE PRIOR TO START OF CONSTRUCTION PUMP AND WELL TO PRODUCE MINIMUM 55 GPM @ 60 PSI

HEAD SPACING NOTE

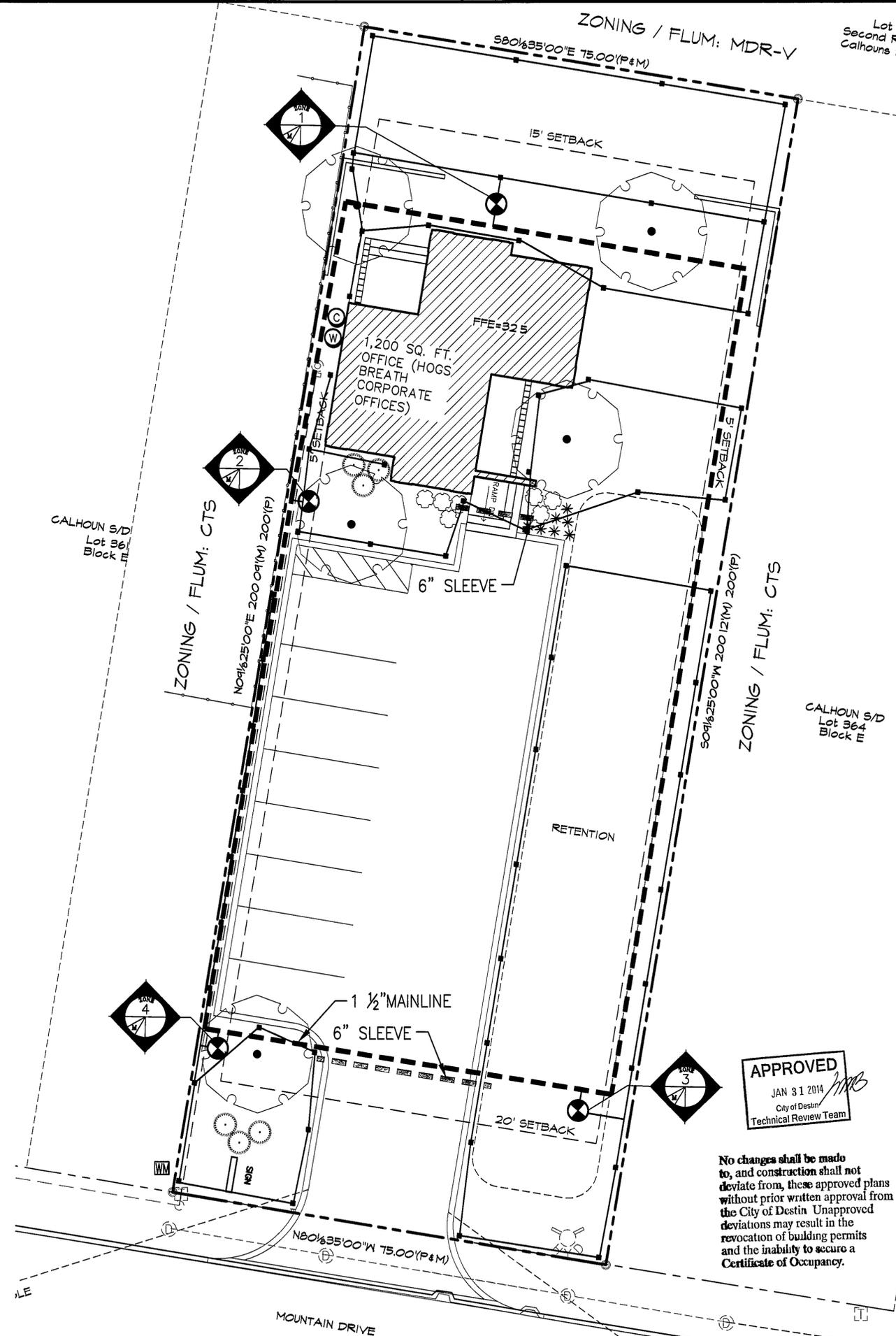
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCALE THE PLAN AND CHECK NOZZLE TYPES TO DETERMINE THE CORRECT SPACING OF THE HEADS. THE CONTRACTOR SHALL NOT SPACE THE HEADS FURTHER APART OR USE LESS HEADS THAN SHOWN ON THE PLAN ANY CHANGES TO THE HEAD SPACING OR LAYOUT, WITHOUT THE CONSENT OF THE LANDSCAPE ARCHITECT OR OWNER, SHALL HOLD THE IRRIGATION CONTRACTOR RESPONSIBLE FOR WARRANTY OF THE PLANTS AND OR SOD IN THESE AREAS

RIGHT OF WAY PERMIT NOTE

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH ALL LOCAL GOVERNING AGENCIES, VERIFY ALL REQUIREMENTS AND CODE REGULATIONS, AND OBTAIN ALL INFORMATION REQUIRED TO PULL NECESSARY RIGHT OF WAY PERMITS IF REQUIRED. CONTRACTOR SHALL SECURE AND PAY FOR PERMITS.

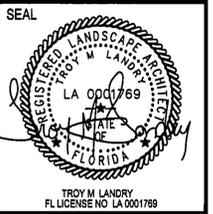
SLEEVE NOTE

ALL SLEEVE LOCATIONS WHERE SIZE IS NOT NOTED SHALL BE INSTALLED MINIMUM SIZE 4" OR 2 SIZES LARGER THAN PIPING PASSING THROUGH SLEEVE, WHICHEVER IS LARGER INSTALL EXTRA 3" SLEEVE FOR WIRE AT MAIN LINE AREAS WHERE NOT SHOWN.



APPROVED
JAN 31 2014
City of Destin
Technical Review Team

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NO	DATE	REVISIONS / SUBMISSIONS
1	10/28/13	SUBMIT TO CITY OF DESTIN

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1 PAHOKEE LANE
DESTIN, FL 32541

PROJECT NO LD13.116
HOGS BREATH SALOON CORPORATE OFFICES
DESTIN, FLORIDA

SCALE	1"=10'-0"
DATE	10/28/2013
DRAWN BY	TML
CHECKED BY	TML

CITY OF DESTIN IRRIGATION PLAN

SHEET
L102
OF L103

